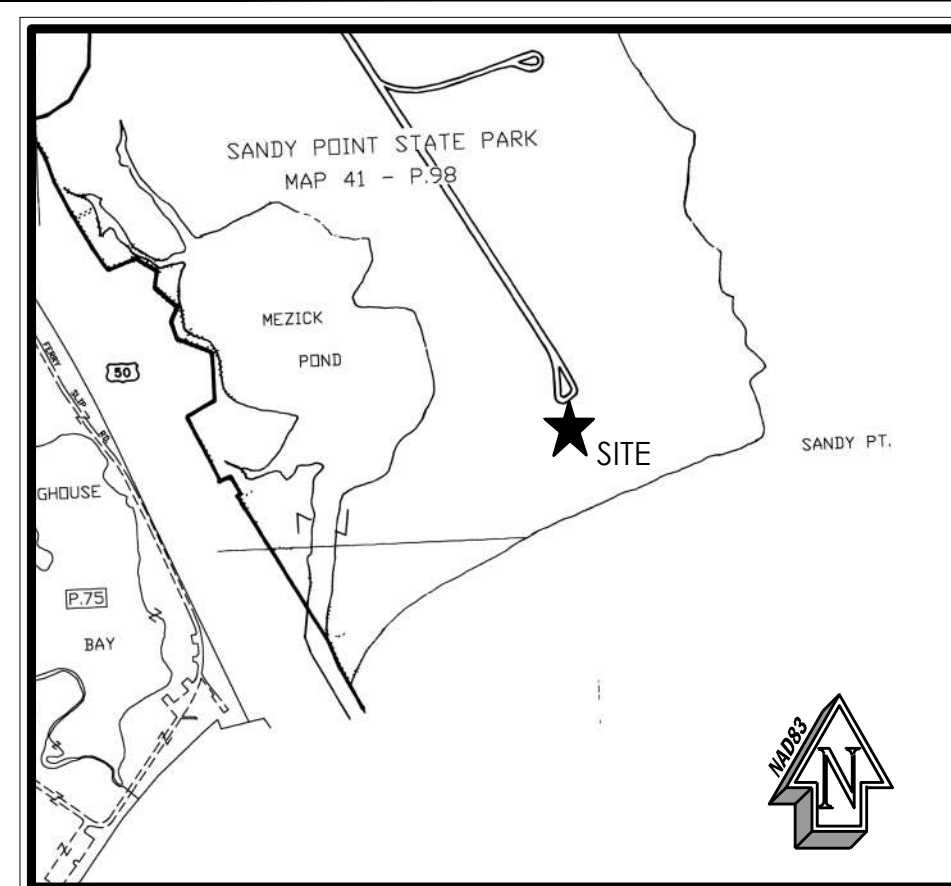


STORMWATER MANAGEMENT AND SEDIMENT AND EROSION CONTROL PLANS

FOR SOUTH BEACH RESTORATION

AT
SANDY POINT STATE PARK
1100 E COLLEGE PKY ANNAPOLIS 21409-0000
TAX ID: 03-000-29043249
TAX MAP 41, GRID 21, PARCEL 98
THIRD DISTRICT ~ ANNE ARUNDEL COUNTY ~ ZONED OS

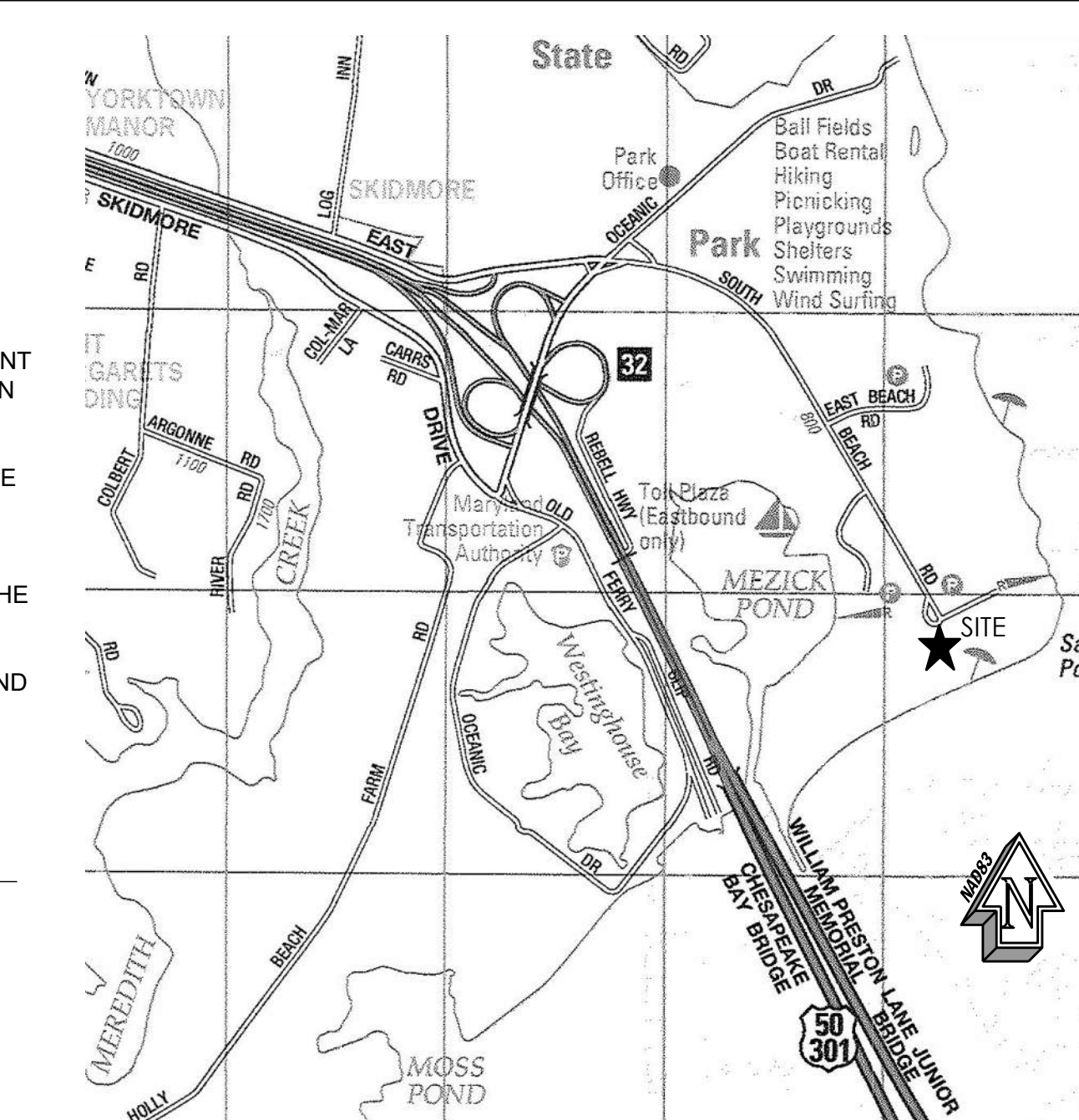


BENCHMARK NOTE

THE COORDINATES AND ELEVATIONS SHOWN HEREON ARE BASED ON RTK (REAL TIME KINEMATIC) OBSERVATIONS UTILIZING KEYNETGPS NETWORK. THE HORIZONTAL DATUM IS REFERENCED TO MARYLAND STATE PLANE (NAD 83/2011) AND THE VERTICAL DATUM IS REFERENCED TO NAVD 88.

BENCHMARK 101
ELEV: 7.15
IRON BAR W/ CAP SET
N: 490375.85
E: 1483286.61

TAX MAP
SCALE: 1"=1000'



VICINITY MAP

SCALE: 1"=2000'
COPYRIGHT ADC THE MAP PEOPLE
PERMITTED USE NO. 20400770

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT FACILITIES (BOTH BMPs AND ESD PRACTICES) SHOWN ON THE PLANS AND INDIVIDUALLY IDENTIFIED BELOW HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED UNDER THE MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVAL FOR 21-SF-0073, EXCEPT AS NOTED IN RED ON THE "AS-BUILT" DRAWINGS, AND THE FURTHERMORE, THE RED-NOTED EXCEPTIONS DO NOT ADVERSELY AFFECT THE INTENDED PERFORMANCE OF THE FACILITY (FACILITIES). "CERTIFY" MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED ON SUFFICIENT AND APPROPRIATE ON-SITE INSPECTIONS AND MATERIAL TESTS CONDUCTED DURING CONSTRUCTION.

TERRY SCHUMAN
NAME SIGNATURE
19593
MARYLAND REGISTRATION NUMBER (PE) DATE
FACILITIES BEING CERTIFIED (LIST EACH INDIVIDUALLY USING FACILITY ID NUMBER AND/OR DESCRIPTION):

SEQUENCE OF CONSTRUCTION

- THE PERMITTEE (OR HIS REPRESENTATIVE) SHALL NOTIFY THE WATER AND SCIENCE ADMINISTRATION (WSA) @ 410-537-3510, SEVEN (7) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITY AND UNLESS WAIVED BY THE ADMINISTRATION, SHALL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES AND A REPRESENTATIVE OF WSA. 2 DAYS
- INSTALL STABILIZED CONSTRUCTION ENTRANCES IN ACCORDANCE WITH THE PLANS. 1 DAY
- CLEAR MINIMAL AREAS TO INSTALL PERIMETER CONTROL, SUPER SILT FENCING AND INLET PROTECTION PER PLANS. 3 DAYS
- OBTAIN WSA INSPECTOR'S APPROVAL, BEGIN CLEARING AND GRUBBING OF THE SITE AREA WITHIN THE LIMIT OF DISTURBANCE (LOD). 3 WEEKS
- UPON THE INSPECTOR'S APPROVAL BEGIN DEMOLITION OF PAVEMENT PER SHEET L-1, HAULING ALL DEBRIS TO AN APPROVED SITE OR LANDFILL, CLEARING AND GRUBBING OF THE SITE AREA TO BE DISTURBED. REFER TO LANDSCAPE PLANS FOR DEMOLITION INFORMATION. 1 WEEK
- BEGIN ROUGH GRADING THE SITE. ALL SITE IMPROVEMENTS MAY BEGIN, INCLUDING BUT NOT LIMITED TO UTILITIES. EXISTING UTILITIES IN THE PROPOSED MARKET CIRCLE AREA TO BE RELOCATED AS NECESSARY FOR INSTALLATION OF PROPOSED UTILITIES AND LAYOUT. THE EXISTING STORM DRAIN SHALL REMAIN FUNCTIONAL DURING THE CONSTRUCTION. 1 MONTH
- USING SAME DAY STABILIZATION, THE CONTRACTOR SHALL CONSTRUCT THE ELEVATED BEACH ACCESS WALKWAYS. 1 WEEK
- CONSTRUCT VEHICULAR ROUNDABOUT AT MARKET CIRCLE, THE CRUSHED GRAVEL TRAILS, CLAMSHELL PATHS, AND STAMPED CONCRETE SIDEWALKS. 3 WEEKS
- FINE GRADE AND INSTALL SEEDING, SOD, AND LANDSCAPING. ONCE ANY CONTRIBUTING DRAINAGE AREA IS FULLY STABILIZED, INSTALLATION OF STORMWATER MANAGEMENT FACILITIES MAY COMMENCE. 3 WEEKS
- SUBJECT TO THE WSA INSPECTOR'S APPROVAL, REMOVE ANY REMAINING SEDIMENT CONTROL MEASURES. PERFORM A FINAL CLEANUP AND MAINTENANCE OF VEGETATION AS NECESSARY TO ENSURE ESTABLISHED GROWTH OF ALL SEEDING AREAS. A FINAL SITE SURVEY AND AS-BUILT SUBMISSION PACKAGE IS REQUIRED AND APPROVAL NEEDED BY THE WSA PRIOR TO PROJECT CLOSEOUT.

STANDARD STABILIZATION NOTE:
FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
A. THREE (3) CALENDAR DAYS AS TO SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1.
B. SEVEN (7) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
C. ALL DISTURBED AREAS SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED WITH VEGETATION.

OUTFALL STATEMENT

THE PROPOSED DEVELOPMENT INCLUDES NEW GRAVEL TRAILS, SIDEWALKS, AND STABILIZING VEGETATION TO THE EXISTING SANDY POINT STATE PARK SITE. THERE ARE NO EXISTING STORMWATER MANAGEMENT FACILITIES ON-SITE AND ALL RUNOFF DRAINS DIRECTLY TO THE CHESAPEAKE BAY OR MEZICK POND WHICH IS TIDALLY AFFECTED BY THE BAY. THEREFORE THE SITE HAS BEEN REVIEWED AS HAVING ONE LINE OF INVESTIGATION FOR DRAINAGE AREA PURPOSES. THE NET INCREASE IN IMPERVIOUS AREA ON-SITE IS OFFSET BY THE NON-ROOFTOP DISCONNECT CREDIT THAT THE SITE CAN TAKE DUE TO THE SANDY SOILS, AND THE ADDITIONAL VEGETATED AREAS THAT ARE BEING ADDED WHICH WILL STABILIZE THE EXISTING OPEN SPACES.

A FIELD INVESTIGATION OF THE SITE OUTFALLS WAS PERFORMED BY A REPRESENTATIVE OF BAY ENGINEERING, INC. NO SIGNS OF EROSION OR CAPACITY ISSUES WERE VISIBLE. AS A RESULT, IT IS CONCLUDED THAT THE PROPOSED DEVELOPMENT WILL NOT HAVE AN ADVERSE IMPACT ON THE RECEIVING STORM DRAIN OR WATERWAYS.

OWNER / DEVELOPER'S CERTIFICATION

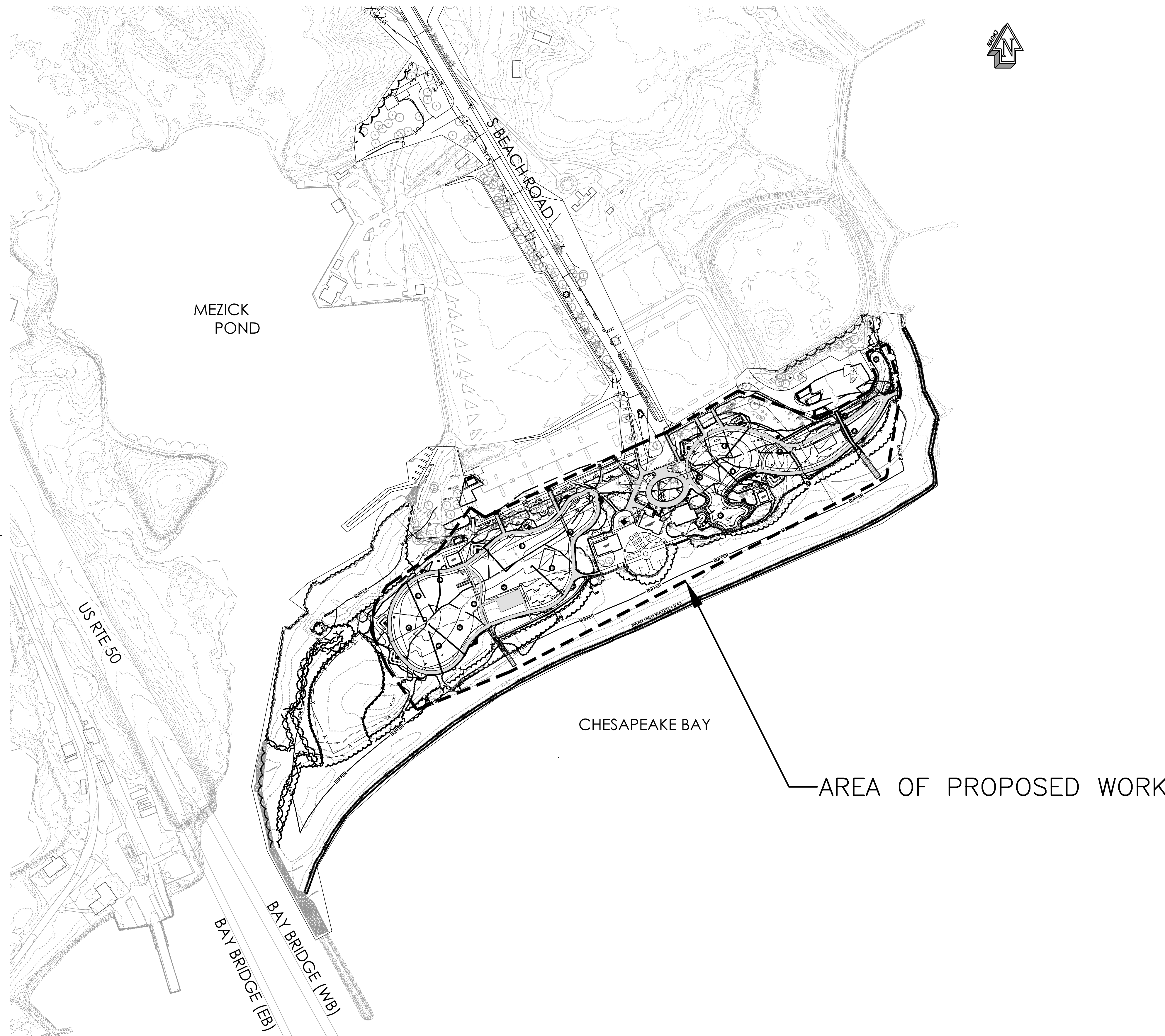
I/ WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I/ WE HEREBY AUTHORIZE THE RIGHT OF THE ENTRY FOR PERIODIC ON-SITE EVALUATION BY APPROPRIATE INSPECTION AND ENFORCEMENT AUTHORITY OR THE STATE OF MARYLAND, DEPARTMENT OF THE ENVIRONMENT. I/ WE HEREBY CERTIFY THAT STORMWATER MANAGEMENT FACILITIES WILL BE MAINTAINED IN ACCORDANCE WITH APPROVED PLANS.

DATE _____ OWNER / DEVELOPER SIGNATURE _____

RESPONSIBLE PERSONNEL CERTIFICATION NO. PRINTED NAME AND TITLE _____

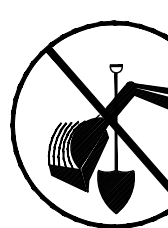
DRAWING INDEX

SHEET NO.	SHEET TITLE
C1	COVER PLAN
C2	OVERALL SITE PLAN
C3	EXISTING CONDITIONS PLAN
C4	EXISTING CONDITIONS PLAN
C5	SITE GRADING PLAN
C6	SITE GRADING PLAN
C7	SEDIMENT CONTROL PLAN
C8	SEDIMENT CONTROL PLAN
C9	DETAILS & SPECIFICATIONS
C10	SEDIMENT CONTROL SPECIFICATIONS
C11	ESDv PLAN
C12	SWM DETAILS & SPECIFICATIONS
C13	EXISTING DRAINAGE AREA PLAN
C14	PROPOSED DRAINAGE AREA PLAN
L-1	DEMOLITION PLAN
L-2	FURNITURE & MATERIALS PLAN
L-3	MARKET CIRCLE MATERIALS PLAN
L-4	FURNITURE DETAILS
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L-7	TREE PLANTING PLAN
L-8	PLANTING ENLARGEMENT SPECIAL AREA
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L-10	PLANTING ENLARGEMENT SPECIAL AREA
L-11	PLANTING DETAILS
ESA-1	RESTORATION PLANTINGS AND SIGNAGE PLAN
ESA-2	RESTORATION PLANTINGS AND SOIL AMENDMENT PLAN
ESA-3	RESTORATION PLANTINGS AND SOIL AMENDMENT PLAN
ESA-4	DETAILS AND MAINTENANCE PLAN
S-1	OVERALL PLAN
S-2	FOUNDATION PLANS
S-3	FRAMING PLANS AND SECTION
S-4	TYPICAL DETAILS AND GENERAL NOTES



LOCATION MAP

SCALE: 1"=200'



CALL BEFORE YOU DIG!
MARYLAND LAW REQUIRES 48 HOURS NOTICE BEFORE PLANNED WORK TO MARK UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
MISS UTILITY: 1-800-257-7777

GENERAL NOTES

- OWNER: STATE OF MARYLAND, C/O LAND & PROPERTY MGMT E-3, 580 TAYLOR AVE, TAVES BLD, ANNAPOLIS, MARYLAND 21401-2352
- ENGINEER: BAY ENGINEERING, INC., 2661 RIVA ROAD, BUILDING 800, ANNAPOLIS, MARYLAND 21401, C/O TERRY SCHUMAN, 410-897-9290, TSCUMAN@BAYENGINEERING.COM
- THE PROPERTY IS SHOWN ON: TAX MAP 41, GRID 21, PARCEL 98.
- THE TAX ACCOUNT INFORMATION IS: 03-000-29043249.
- THE EXISTING ZONING OF THE SITE IS OS - OPEN SPACE.
- THE SITE ADDRESS IS 1100 E COLLEGE PKY ANNAPOLIS 21409-0000
- THE EXISTING USE OF THE SITE IS A STATE PARK
- THE STATE PARK HAS AN AREA OF 786 AC.±
- THE SITE IS LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- THE EXISTING TOPOGRAPHY AND FEATURES SHOWN HEREON WERE TAKEN FROM A SURVEY PROVIDED BY THE DEPARTMENT OF NATURAL RESOURCES DATED MARCH 2021, AND SUPPLEMENTED BY BAY ENGINEERING, INC. IN THE PROPOSED WORK AREAS ONLY IN FEBRUARY, 2023. THE REMAINING SITE AREA, EXISTING UTILITIES AND FEATURES OF SURROUNDING PROPERTIES AND ROADS WERE TAKEN FROM A COMBINATION OF SURVEY DATA AND EXISTING COUNTY PUBLIC DRAWINGS. THE ELEVATIONS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS USING ANNE ARUNDEL COUNTY CONTROL STATION (SEE BENCHMARK INFORMATION THIS SHEET). ALL HORIZONTAL DATUM IS REFERENCED TO MD STATE PLANE (NAD 83/91) AND THE VERTICAL DATUM IS REFERENCED TO NAVD 88.
- THE LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE IN THE FIELD, AND RECORD MAPS AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THE PROPERTY SHOWN HEREON IS LOCATED IN BOTH FLOOD HAZARD ZONES AE EL. 5 (BASED FLOOD ELEVATIONS) AND VE EL. 7 (COASTAL FLOOD WITH VELOCITY HAZARD (WAVE ACTION)) AS DELINEATED ON THE FLOOD INSURANCE RATE MAP #24003C0195F FEBRUARY 18, 2015 FOR ANNE ARUNDEL COUNTY, MARYLAND AND DISTRIBUTED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- THE SITE UTILITIES ARE NOT PUBLIC IN AREA AND ARE NOT SHOWN IN THE ANNE ARUNDEL COUNTRY ENGINEERING RECORD DRAWING AND MONUMENTS MAPS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY FENCE, DRIVEWAYS, ETC. DAMAGED OR REMOVED BY HIM DURING CONSTRUCTION. ALL DISTURBED AREAS OUTSIDE OF THE RIGHT-OF-WAY LINES SHALL BE RETURNED TO THEIR ORIGINAL CONDITION UNLESS OTHERWISE INDICATED OR SPECIFIED.
- ALL CONSTRUCTION METHODS AND MATERIAL SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF MARYLAND DETAILS AND SPECIFICATIONS FOR CONSTRUCTION OF STORM DRAINS, WATER, SEWER, AND ROADS.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK THAT WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE MOST CURRENT VERSION OF OSHA STANDARDS AND/OR REGULATIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION TO THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY CHANGE IN THIS PLAN WITHOUT THE WRITTEN AUTHORIZATION FOR SAID CHANGE FROM THE ENGINEER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUB-CONTRACTOR. SAID CHANGES MAY WARRANT MDE, ANNE ARUNDEL COUNTY, AND /OR SHA REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL NOTE THAT IN THE CASE OF A DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSION SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF HIS CONSTRUCTION WITH THE CONSTRUCTION BY OTHER CONTRACTORS.
- ALL UTILITY POLES SHALL BE BRACED WHEN NECESSARY AT THE CONTRACTOR'S EXPENSE. THE UTILITY POLES SHALL BE RELOCATED AT THE OWNERS EXPENSE ONLY IN CASES WHERE THEY WILL INTERFERE WITH CONSTRUCTION.
- THE PERMITTEE (OR HIS REPRESENTATIVE) SHALL NOTIFY THE WATER AND SCIENCE ADMINISTRATION (WSA) @ 410-631-3150 AT LEAST SEVEN (7) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITY AND SHALL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES AND A REPRESENTATIVE OF WSA.
- ALL WATER AND SEWER UTILITIES SHALL BE SEPARATED BY A MINIMUM OF 10 FEET OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY BGE @ 410-234-5691, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- THE CONTRACTOR SHALL NOTIFY THE VERIZON TELEPHONE COMPANY @ 301-393-3648, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- PIPE ELEVATIONS REFER TO INVERTS UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL SAWCUT ALL JOINTS WHERE THE PROPOSED PAVEMENT MEETS THE EXISTING PAVEMENT.
- IN PREPARATION OF THESE PLANS THE BEST AVAILABLE RECORDS, DEEDS, MAPS, SURVEYS AND AERIAL TOPOGRAPHY WERE USED.

MDE PERMIT #23-SF-0169:

PLOTTED: Nov 15, 2023 - 12:26pm



Revisions			
Rev. #	By	Date	Description



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Annapolis, MD 21401
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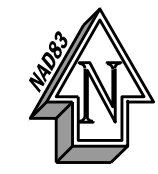
COVER SHEET

**SANDY POINT STATE PARK
SOUTH BEACH RESTORATION**

TAX ID: 03-000-29043249
TAX MAP 41, GRID 21, PARCEL 98
1100 E COLLEGE PARKWAY
ANNAPOLIS, MARYLAND 21409
THIRD DISTRICT ANNE ARUNDEL COUNTY ZONED OS

Date: APRIL 2023
Job Number: 21-8065
Scale: AS SHOWN
Drawn By: JAW
Approved By: TSC
Folder Reference: SANDY POINT STATE PARK SOUTH BEACH RESTORATION
Sheet No. **C1**

F:\21-8065 Sandy Point State Park - South Beach Restoration\Drawing Files\21-8065 SDP PLANS TEST.dwg



OVERALL PLAN
SCALE: 1"=60'

DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

DATE: 11/13/2023
DESIGNER'S SIGNATURE: TERRY SCHUMAN, PE
REGISTRATION NO. 19993
PRINTED NAME: TERRY SCHUMAN, PE
R.L.S., R.A. OR R.A. (CIRCLE ONE)

MDE PERMIT #23-SF-0169:

CONTROL NOTE
THE HORIZONTAL POSITION IS REFERENCED TO NAD83 AND THE VERTICAL POSITION IS REFERENCED TO NAVD83.

Revisions			
Rev. #	By	Date	Description



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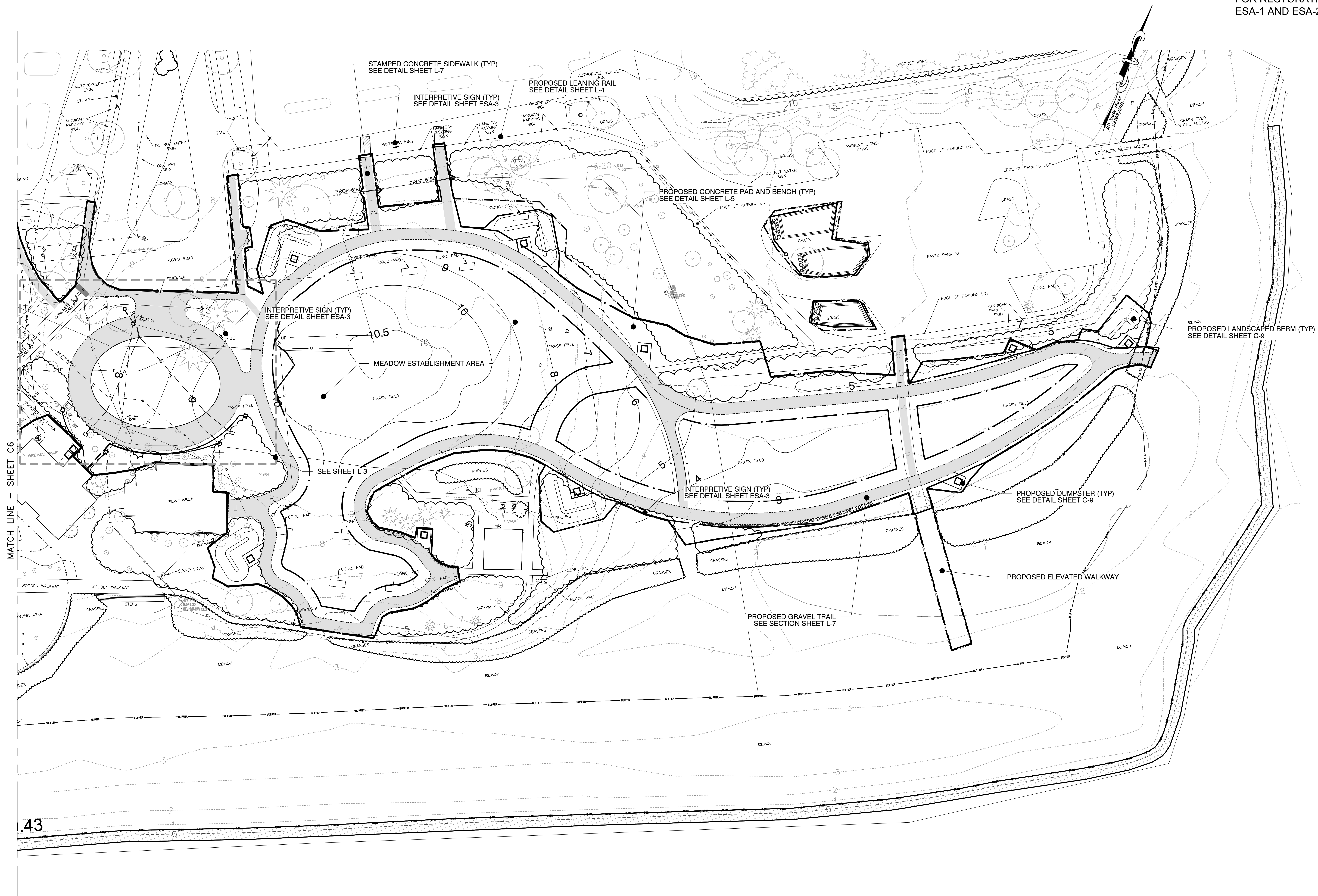
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www.bayengineering.com
410.897.9295 fax
email: info@bayengineering.com

OVERALL SITE PLAN
SANDY POINT STATE PARK
SOUTH BEACH RESTORATION
TAX MAP 41, GRID 21, PARCEL 98
1100 E. COLLEGE PARKWAY
ANNAPOLIS, MARYLAND 21409
THIRD DISTRICT ANNE ARUNDEL COUNTY ZONED OS

Date: APRIL 2023
Job Number: 21-5865
Scale: AS SHOWN
Drawn By: JAM
Approved By: JMC
Folder Reference: SANDY POINT STATE PARK SOUTH BEACH RESTORATION
Sheet No. C2

SHEET REFERENCES

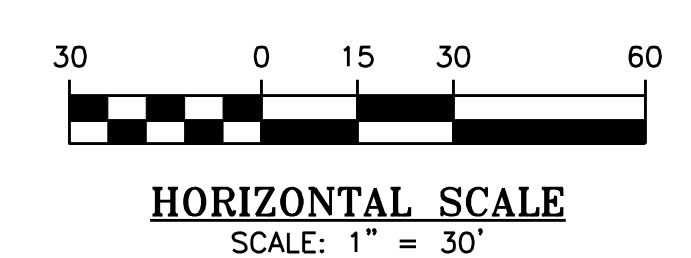
- FOR FURNITURE DETAILS SEE SHEET L-4 AND L-5
- FOR PAVING SECTIONS SEE SHEET L-5 AND L-6
- FOR LANDSCAPING SEE SHEETS L-7, L-8, L-9, L-10, AND L-11
- FOR RESTORATION PLANTINGS SEE SHEETS ESA-1 AND ESA-2



LEGEND

▲	TRAV. PT. #1	TRAVERSE CONTROL
○	BUSHES	BUSHES
○	TREES	TREES
○	BARBECUE GRILL	BARBECUE GRILL
○	LAMP POST/LIGHT POLE	LAMP POST/LIGHT POLE
○	ELECTRIC MANHOLE	ELECTRIC MANHOLE
○	ELECTRIC TRANSFORMER	ELECTRIC TRANSFORMER
○	ELECTRIC BOX	ELECTRIC BOX
○	TELEPHONE PEDESTAL	TELEPHONE PEDESTAL
○	WATER VALVE	WATER VALVE
○	FIRE HYDRANT	FIRE HYDRANT
○	WATER METER	WATER METER
○	STORM DRAIN MANHOLE	STORM DRAIN MANHOLE
○	SEWER MANHOLE	SEWER MANHOLE
○	CLEANOUT	CLEANOUT
○	PHRAGMITE/GRASS LINE	PHRAGMITE/GRASS LINE
○	WOODS LINE	WOODS LINE
○	EXISTING CONTOUR LINES	EXISTING CONTOUR LINES
○	STORM DRAIN LINES	STORM DRAIN LINES
○	WATER LINES	WATER LINES
○	SEWER LINES	SEWER LINES
○	UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
○	UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
○	LIMIT OF DISTURBANCE	LIMIT OF DISTURBANCE
○	SWM STUDY AREA BOUNDARY	SWM STUDY AREA BOUNDARY
○	FENCE	FENCE
○	PROPOSED BENCH AND BBO	PROPOSED BENCH AND BBO
○	PROPOSED PRECAST BENCH	PROPOSED PRECAST BENCH
○	PROPOSED STAMPED CONCRETE SIDEWALK	PROPOSED STAMPED CONCRETE SIDEWALK
○	PROPOSED CLAMSHELL WALK	PROPOSED CLAMSHELL WALK
○	PROPOSED VEHICULAR PAVERS	PROPOSED VEHICULAR PAVERS

PLAN
SCALE: 1" = 30'



MDE PERMIT #23-SF-0169:

PLOTTED: Nov 15, 2023 - 11:58am

Revisions			
Rev. #	By	Date	Description

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SITE GRADING PLAN

**SANDY POINT STATE PARK
SOUTH BEACH RESTORATION**

TAX ID: 03-000-290432409
TAX MAP #1, GRID 21, PARCEL 98
1100 E. COLLEGE PARKWAY
ANNAPOLIS, MARYLAND 21409
THIRD DISTRICT ANNE ARUNDEL COUNTY ZONED OS

Date	04/16/2023
Job Number	21-5865
Scale	AS SHOWN
Drawn By	MM
Approved By	MM
Folder Reference	SANDY POINT STATE PARK SOUTH BEACH RESTORATION
Sheet No.	C5

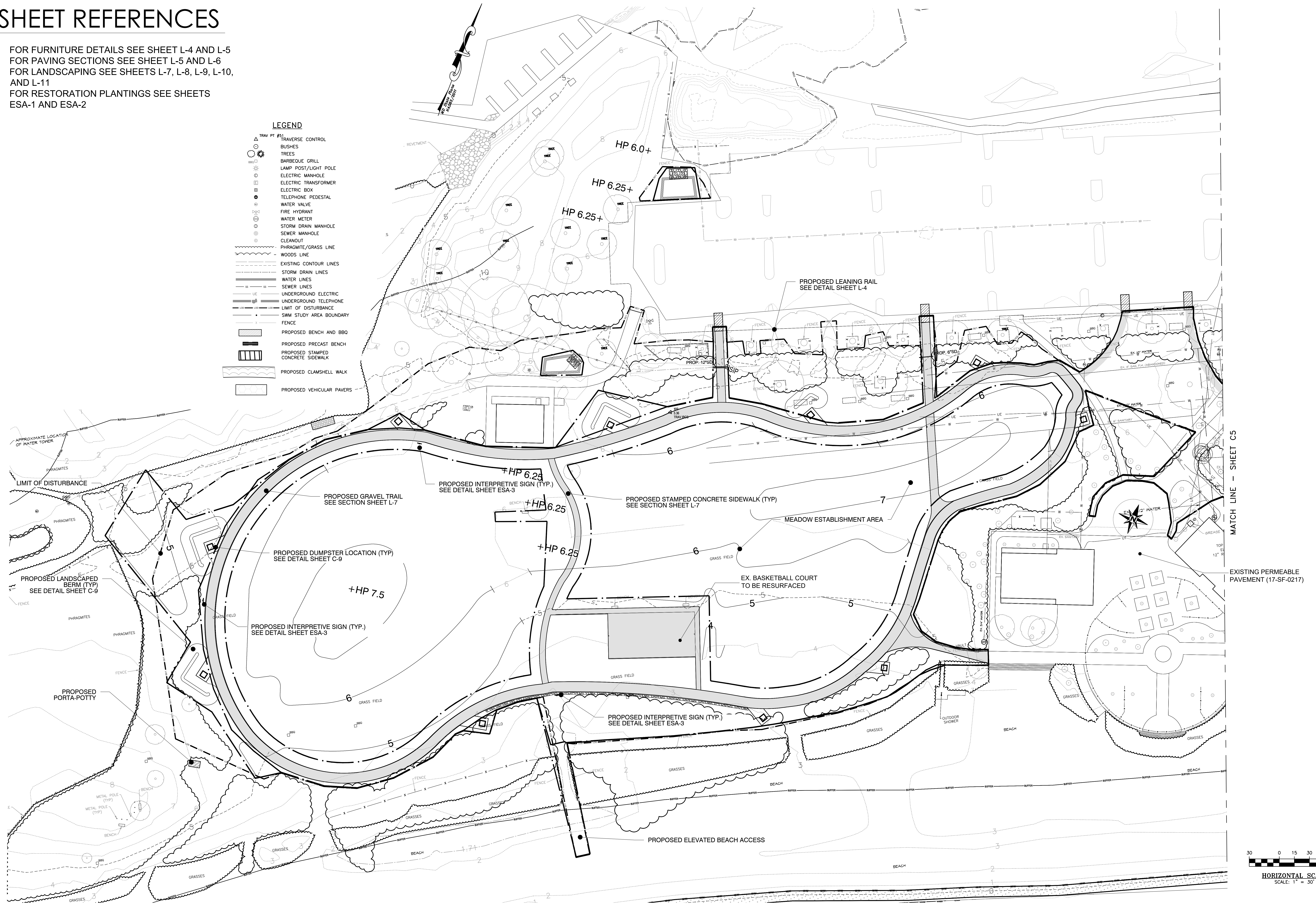
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SHEET REFERENCES

- FOR FURNITURE DETAILS SEE SHEET L-4 AND L-5
- FOR PAVING SECTIONS SEE SHEET L-5 AND L-6
- FOR LANDSCAPING SEE SHEETS L-7, L-8, L-9, L-10, AND L-11
- FOR RESTORATION PLANTINGS SEE SHEETS ESA-1 AND ESA-2

LEGEND

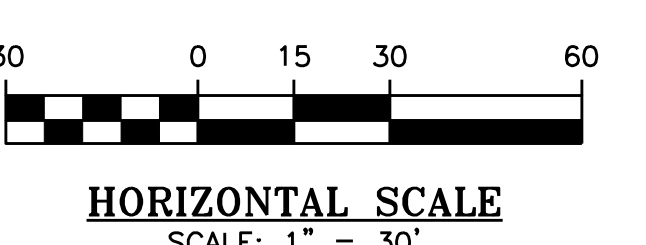
- TRAV PT #1 TRAVERSE CONTROL
- BUSHES
- TREES
- BARBEQUE GRILL
- LAMP POST/LIGHT POLE
- ELECTRIC MANHOLE
- ELECTRIC TRANSFORMER
- ELECTRIC BOX
- TELEPHONE PEDESTAL
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- STORM DRAIN MANHOLE
- SEWER MANHOLE
- CLEANOUT
- PHOSPHATE/GRASS LINE
- WOODS LINE
- EXISTING CONTOUR LINES
- STORM DRAIN LINES
- WATER LINES
- SEWER LINES
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- LIMIT OF DISTURBANCE
- SWM STUDY AREA BOUNDARY
- FENCE
- PROPOSED BENCH AND BBQ
- PROPOSED PRECAST BENCH
- PROPOSED STAMPED CONCRETE SIDEWALK
- PROPOSED CLAMSHELL WALK
- PROPOSED VEHICULAR PAVERS



PLAN
SCALE: 1" = 30'

MATCH LINE - SHEET C5

EXISTING PERMEABLE PAVEMENT (17-SF-0217)



MDE PERMIT #23-SF-0169:



Revisions			
Rev. #	By	Date	Description

Final
5/6/21

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SITE GRADING PLAN

**SANDY POINT STATE PARK
SOUTH BEACH RESTORATION**

TAX MAP 41, GRID 21, PARCEL 98
1100 E. COLLEGE PARKWAY
ANNAPOLIS, MARYLAND 21409
THIRD DISTRICT ANNE ARUNDEL COUNTY ZONED OS

Date	JUNE, 2023
Job Number	21-005
Scale	AS SHOWN
Drawn By	IMM
Approved By	IMM
Folder Reference	SANDY POINT STATE PARK SOUTH BEACH RESTORATION
Sheet No.	C6

PLOTTED: Nov 15, 2023 - 11:57am

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LOI SWM SUMMARY

LOI #1
 EXISTING DRAINAGE AREA TO LOI (A_E) = 14.08 AC.
 PROPOSED DRAINAGE AREA TO LOI (A_P) = 13.69 AC.
 SWM STUDY AREA (A_S) = 7.21 AC.
 EXISTING IMPERVIOUS AREA WITHIN SWM STUDY AREA (A_{EXI}) = 0.24 AC.
 PERCENT EXISTING IMPERVIOUSNESS = 3.3%
 DEVELOPMENT CLASSIFICATION FOR RE-CONSTRUCTION = NEW DEVELOPMENT
 PROPOSED IMPERVIOUS AREA WITHIN SSA (A_{PI}) = 1.07 AC.
 IMPERVIOUS TREATMENT PROVIDED = 1.37 AC.
 WQv REQUIRED FOR P.O.I. #1 = 3,724 C.F.
 RECHARGE VOLUME REQUIRED FOR P.O.I. #1 = 484 C.F.
 SWM TREATMENT VOLUME PROVIDED = 6,007 C.F.
 *DUE TO TIDAL OUTFALL, NO QUANTITY CONTROL IS REQUIRED

LOI #2
 EXISTING DRAINAGE AREA TO L.O.I. (A_E) = 15.25 AC.
 PROPOSED DRAINAGE AREA TO L.O.I. (A_P) = 15.64 AC.
 SWM STUDY AREA (A_S) = 4.39 AC.
 EXISTING IMPERVIOUS AREA WITHIN SWM STUDY AREA (A_{EXI}) = 0.23 AC.
 PERCENT EXISTING IMPERVIOUSNESS = 5.2%
 DEVELOPMENT CLASSIFICATION FOR RE-CONSTRUCTION = NEW DEVELOPMENT
 PROPOSED IMPERVIOUS AREA WITHIN SSA (A_{PI}) = 0.53 AC.
 IMPERVIOUS TREATMENT PROVIDED = 0.46 AC.
 WQv REQUIRED FOR L.O.I. #2 = 1,793 C.F.
 RECHARGE VOLUME REQUIRED FOR L.O.I. #2 = 233 C.F.
 SWM TREATMENT VOLUME PROVIDED = 1,708 C.F.
 *DUE TO TIDAL OUTFALL, NO QUANTITY CONTROL IS REQUIRED



ESDv PLAN
SCALE: 1"=60'

SWM SUMMARY CHART

DA #	TREATMENT TYPE	IMPERVIOUS AREA
A	NON-ROOFTOP DISCONNECT	1,120 SF (0.03 AC)
B	NON-ROOFTOP DISCONNECT	2,262 SF (0.05 AC)
C	NON-ROOFTOP DISCONNECT	561 SF (0.01 AC)
D	NON-ROOFTOP DISCONNECT	1,703 SF (0.04 AC)
E	NON-ROOFTOP DISCONNECT	1,198 SF (0.03 AC)
F	NON-ROOFTOP DISCONNECT	4,621 SF (0.11 AC)
G	NON-ROOFTOP DISCONNECT	5,711 SF (0.13 AC)
H	NON-ROOFTOP DISCONNECT	2,774 SF (0.06 AC)
I	NON-ROOFTOP DISCONNECT	2,139 SF (0.05 AC)
J	NON-ROOFTOP DISCONNECT	3,802 SF (0.09 AC)
K	NON-ROOFTOP DISCONNECT	7,492 SF (0.17 AC)
L	NON-ROOFTOP DISCONNECT	1,218 SF (0.03 AC)
M	NON-ROOFTOP DISCONNECT	2,127 SF (0.05 AC)
N	NON-ROOFTOP DISCONNECT	3,055 SF (0.07 AC)
O	NON-ROOFTOP DISCONNECT	3,594 SF (0.08 AC)
P	NON-ROOFTOP DISCONNECT	3,380 SF (0.08 AC)
Q	NON-ROOFTOP DISCONNECT	1,845 SF (0.04 AC)
R	NON-ROOFTOP DISCONNECT	3,404 SF (0.08 AC)
	RAINGARDEN RG-1	6,999 SF (0.16 AC)
	RAINGARDEN RG-2	4,466 SF (0.10 AC)
	RAIN GARDEN RG-3	3,440 SF (0.08 AC)
	RAINGARDEN RG-4	7,763 SF (0.18 AC)
	RAINGARDEN RG-5	5,038 SF (0.12 AC)

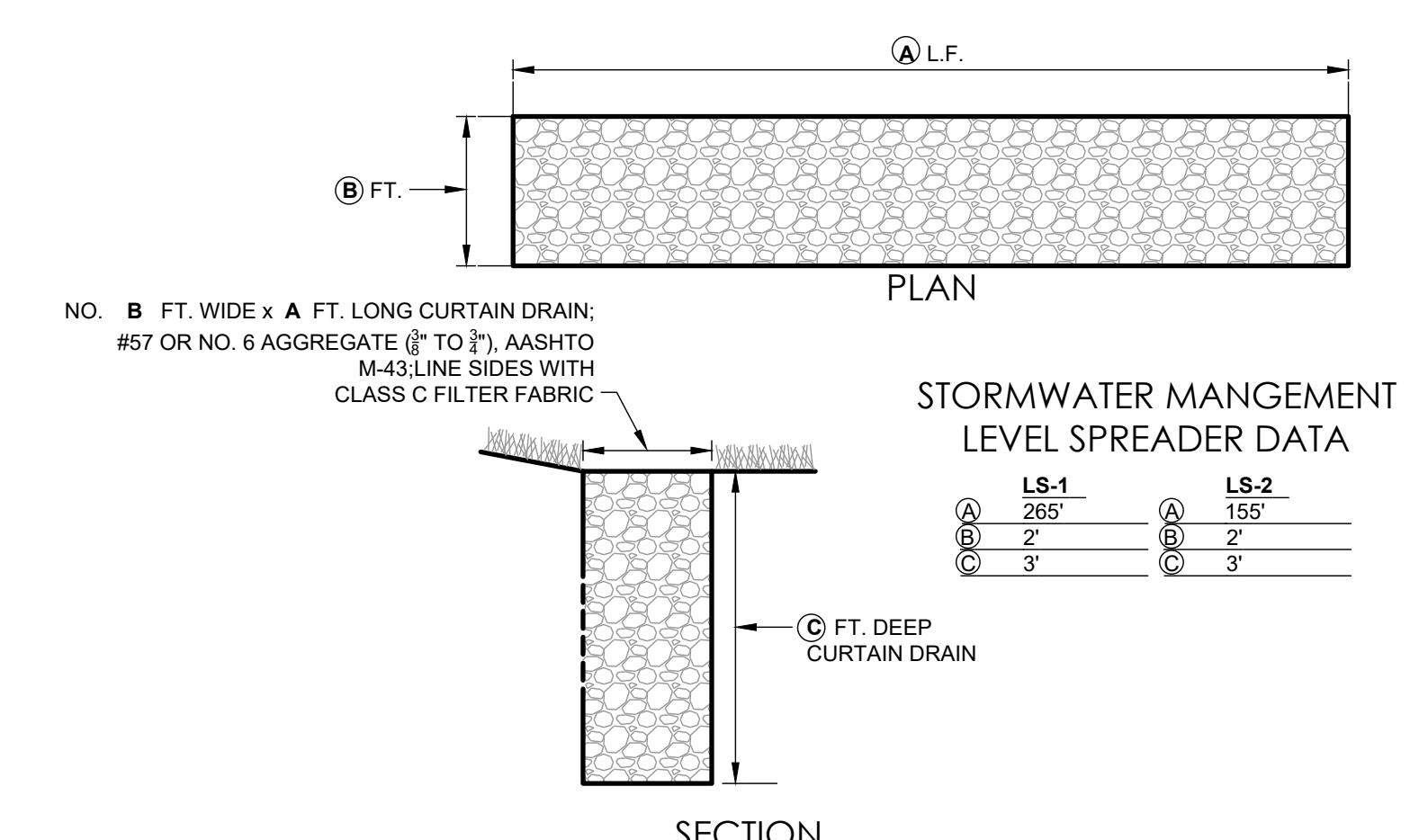
CAC 10% REMOVAL SUMMARY

SITE AREA (SSA):	11.60 AC
EXISTING IMPERVIOUS:	0.46 AC
PROPOSED IMPERVIOUS:	1.59 AC
REMOVAL REQUIREMENT:	0.30 LBS/YR
TOTAL LOAD REDUCTION:	1.29 LBS/YR

SWM STUDY AREA SUMMARY

SSA AREA:	11.60 AC
EXISTING IMPERVIOUS:	0.46 AC
% EXISTING IMPERVIOUS WITHIN LOD:	4.0%
PROPOSED IMPERVIOUS:	1.59 AC
% PROPOSED IMPERVIOUS WITHIN LOD:	13.7%

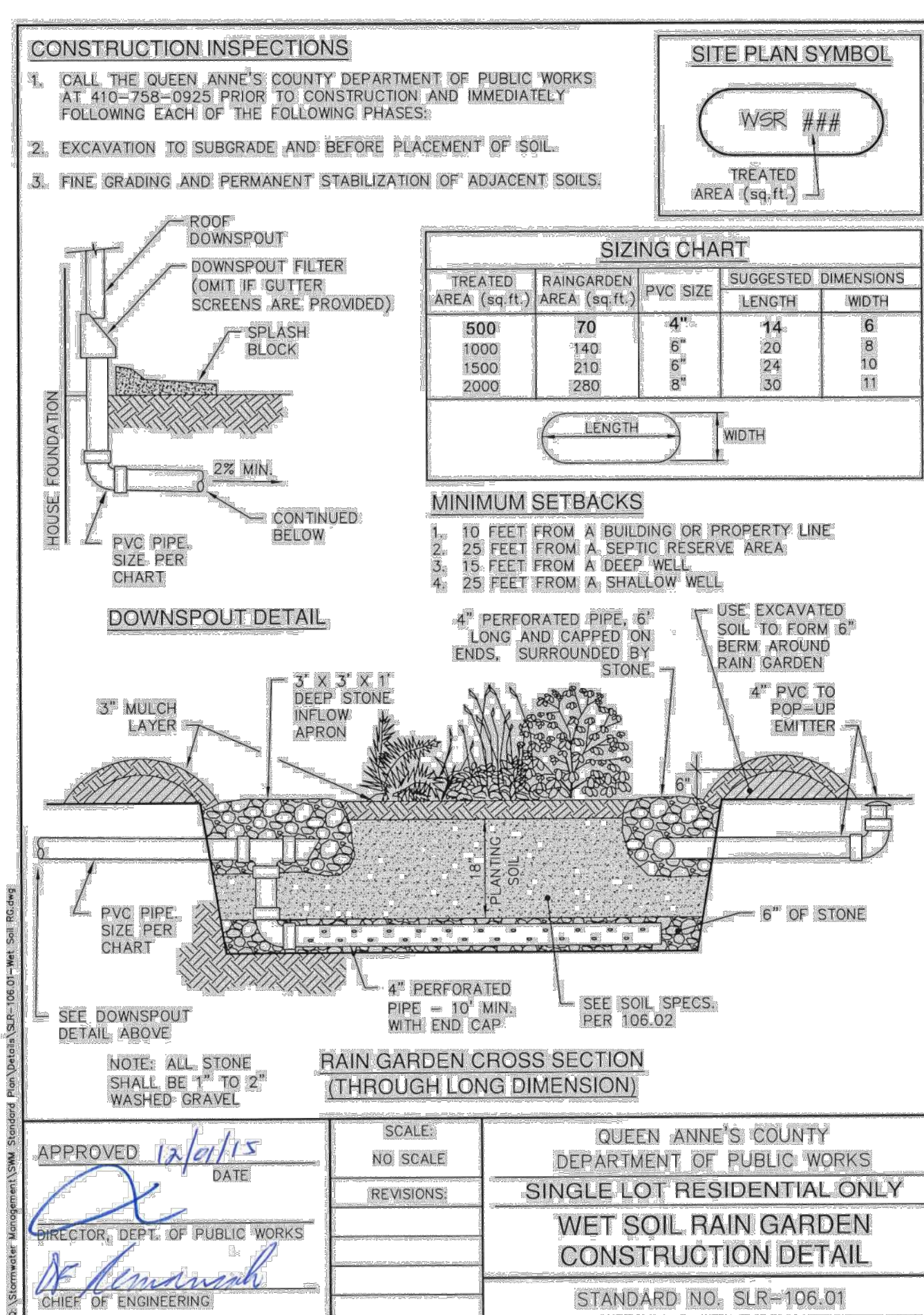
NOTE - DISCONNECT AREAS ARE GROUPED PER AREA WITH A MAXIMUM CONTRIBUTING LENGTH OF 150' FOR EFFICIENCY. FOR EXAMPLE, DRAINAGE AREA 'A' CAN BE BROKEN DOWN INTO 12 SEPARATE 1,000 SF DRAINAGE AREAS SO AS NOT TO EXCEED THE MDE REQUIREMENTS FOR TREATMENT, BUT DRAINAGE AREA 'A' ALL SHEETFLOWS IN THE SAME GENERAL AREA WITH NO PART OF THE DISCONNECT RECEIVING MORE THAN 150' OF CONTRIBUTING FLOW PATH.



STORMWATER MANAGEMENT LEVEL SPREADER DETAIL
SCALE: NONE

LEGEND

- SWM DRAINAGE AREA BOUNDARY
 - EXISTING CONTOUR LINES
 - PROPOSED CONTOURS
 - LIMIT OF DISTURBANCE
 - SWM STUDY AREA BOUNDARY
 - NON-ROOFTOP DISCONNECT TREATED IMPERVIOUS AREA
 - RAIN GARDEN TREATED IMPERVIOUS AREA
 - PROPOSED IMPERVIOUS AREA
- NOTE: SEE LANDSCAPING PLANS FOR DESCRIPTION OF GROUND COVER.



CONSTRUCTION NOTES

- RAIN GARDENS SHALL BE CONSTRUCTED AFTER ALL UTILITIES ARE LOCATED AND MARKED WITH EITHER IMPERVIOUS SURFACES OR TOPSOIL AND VEGETATION.
- RAIN GARDEN EXCAVATION SHALL BE ROUGH AND UNCOMPACTED IF SIGNIFICANT BOTTOM OR WALLS OCCUR. SCRATCH WITH A RAKE AS NECESSARY TO EXPOSE ROUGH SURFACE.
- LANDSCAPING MATERIALS SHOULD BE INSTALLED DURING THE SPRING OR FALL IF POSSIBLE.
- OVERFLOW FROM RAIN GARDEN SHALL BE DIRECTED OVER A 2" DEEP BY 10" WIDE DEPRESSION IN THE PERIMETER BERM AND SHALL NOT BE A SOURCE OF CONSTRUCTION EROSION.
- THE OWNER IS ENCOURAGED TO ENHANCE THE VISUAL APPEAL OF THE RAIN GARDEN BY USING STONE OR TIMBER RETAINING WALLS INSTEAD OF USING EXCAVATED SOIL. ERM LNER MAY BE NEEDED TO MAKE A WATERIGHT WALL.

MAINTENANCE CRITERIA

- WATER PLANTS LIBERALLY THE FIRST GROWING SEASON AND DURING PERIODS OF DROUGHT THEREAFTER.
- REMOVE ACCUMULATED TRASH AND VEGETATIVE DEBRIS EVERY FEW MONTHS AND ENSURE THAT INFLOW PIPES FLOW FREELY.
- PRUNE AND REMOVE DEAD VEGETATION PERIODICALLY, AS WITH ANY LANDSCAPE BED. IF SPECIFIC PLANTS ARE NOT SURVIVING, REPLACE WITH A DIFFERENT SPECIES. WATERING MAY BE REQUIRED DURING ESTABLISHMENT.
- SEDS AND SEMENT SHOULD BE REMOVED FROM THE SURFACE OF THE FILTER BED WHEN ACCUMULATION EXCEEDS ONE INCH. THE TOP FEW INCHES OF FILTER MEDIA SHOULD BE REMOVED AND REPLACED WHEN WATER PASSES FOR MORE THAN 48 HOURS.
- REVERSE MULCH WITH AN ADDITIONAL THREE LAYER ANNUALLY. REMOVE ALL MULCH AND REPLACE WITH A NEW THREE-INCH LAYER EVERY 3-5 YEARS.

SOIL SPECIFICATIONS

- THE RAIN GARDEN PLANTING SOIL SHALL HAVE A COMPOSITION OF 20% SAND, 30% TOPSOIL, LEAVES, AND SOIL TOPSOIL.
- SOIL SHALL BE OF UNIFORM COMPOSITION, FREE OF STONES, STUMPS, ROOTS OR SIMILAR OBSTACLES LARGER THAN ONE INCH.
- SOIL SHALL BE FREE OF DEBRIS AND PLANTS (OR PLANT PARTS) OF BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, WILDWOOD, WOODSUCKER, POISON IVY, OR SANADAN THISTLE.
- PLANTING SOIL SHALL BE OVERLAPPED BY 2"-3" TO ALLOW FOR SETTLING. DO NOT COMPACT.

CONSTRUCTION INSPECTIONS

- CALL THE QUEEN ANNE'S COUNTY DEPARTMENT OF PUBLIC WORKS AT 410-267-5200 PRIOR TO CONSTRUCTION AND IMMEDIATELY FOLLOWING EACH OF THE FOLLOWING PHASES:
- EXCAVATION TO SUBGRADE AND BEFORE PLACEMENT OF SOIL.
- FINE GRADING AND PERMANENT STABILIZATION OF ADJACENT SOILS.

SIZING CHART

TREATED AREA (sq ft)	RAINGARDEN AREA (sq ft)	PMG SIZE	LENGTH	WIDTH
5000	70	4"	14	6
10000	140	6"	28	6
15000	210	8"	34	10
20000	280	8"	34	11

MINIMUM SETBACKS

- 10 FEET FROM A BUILDING OR PROPERTY LINE
- 15 FEET FROM A SEPTIC RESERVE AREA
- 25 FEET FROM A DEEP WELL
- 25 FEET FROM A SHALLOW WELL

RAINGARDEN CROSS SECTION (THROUGH LONG DIMENSION)

APPROVED 12/16/15
 DIRECTOR, DEPT. OF PUBLIC WORKS
 CHIEF OF ENGINEERING

STANDARD NO. SLR-106.02

PLOTTED: Nov 15, 2023 - 12:22pm



Revisions			
Rev. #	By	Date	Description

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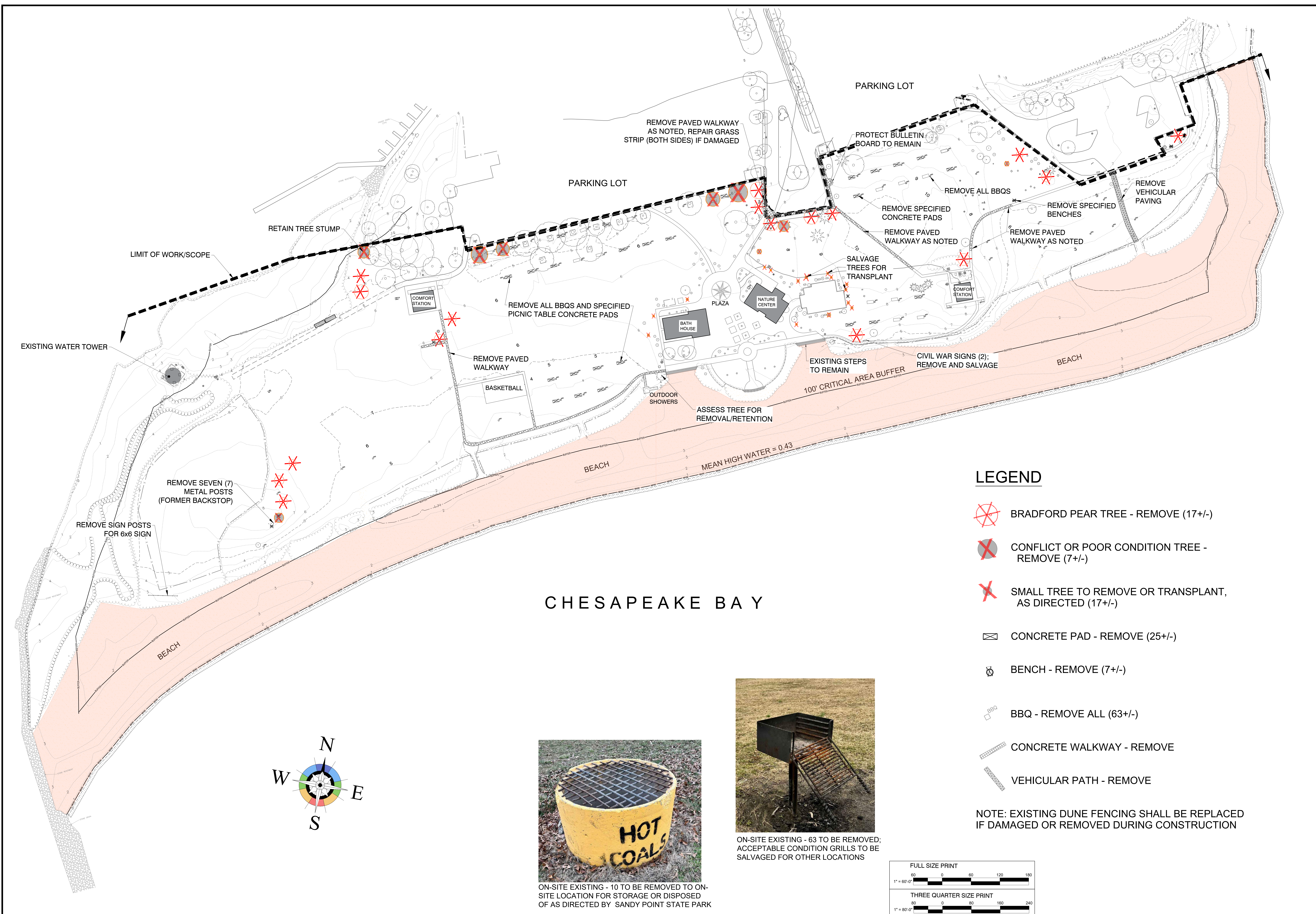
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ESDv PLAN
 SANDY POINT STATE PARK
 SOUTH BEACH RESTORATION

TAX ID: 03-000-29043249
 TAX MAP #1, GRID 21, PARCEL 98
 1100 E. COLLEGE PARKWAY
 ANNAPOLIS, MARYLAND 21409
 THIRD DISTRICT ANNE ARUNDEL COUNTY ZONED OS

Date	04/15/2023
Job Number	21-8965
Scale	AS SHOWN
Drawn By	DK
Approved By	DK
Folder Reference	SANDY POINT STATE PARK SOUTH BEACH RESTORATION
Sheet No.	C11

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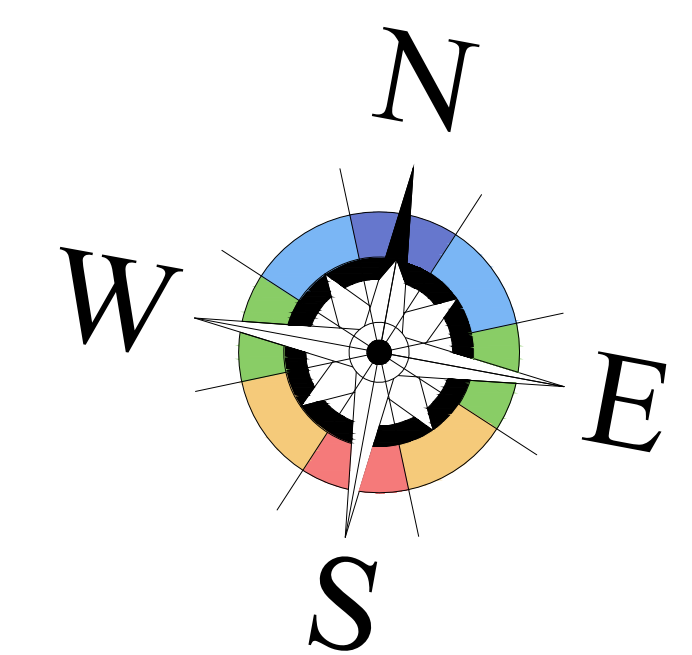


CHESAPEAKE BAY

LEGEND

- BRADFORD PEAR TREE - REMOVE (17+/-)
- CONFLICT OR POOR CONDITION TREE - REMOVE (7+/-)
- SMALL TREE TO REMOVE OR TRANSPLANT, AS DIRECTED (17+/-)
- CONCRETE PAD - REMOVE (25+/-)
- BENCH - REMOVE (7+/-)
- BBQ - REMOVE ALL (63+/-)
- CONCRETE WALKWAY - REMOVE
- VEHICULAR PATH - REMOVE

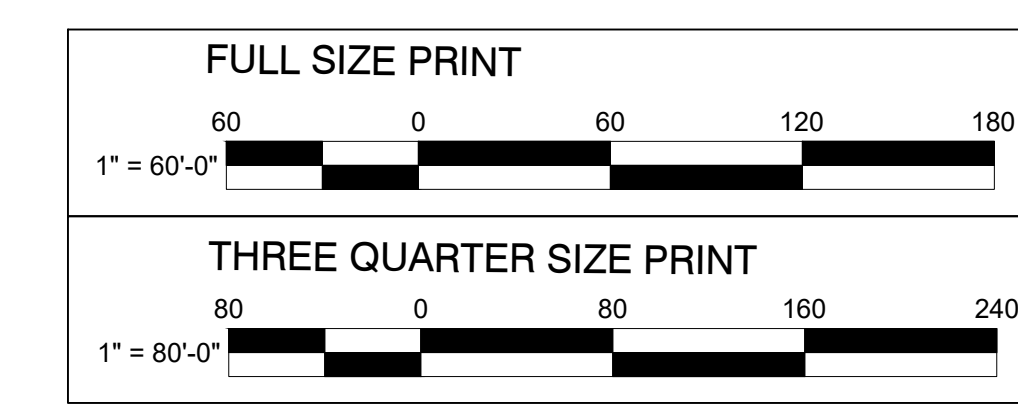
NOTE: EXISTING DUNE FENCING SHALL BE REPLACED IF DAMAGED OR REMOVED DURING CONSTRUCTION



ON-SITE EXISTING - 10 TO BE REMOVED TO ON-SITE LOCATION FOR STORAGE OR DISPOSED OF AS DIRECTED BY SANDY POINT STATE PARK



ON-SITE EXISTING - 63 TO BE REMOVED; ACCEPTABLE CONDITION GRILLS TO BE SALVAGED FOR OTHER LOCATIONS



PLOTTED: Sep 14, 2023, 9:45am



Revisions			
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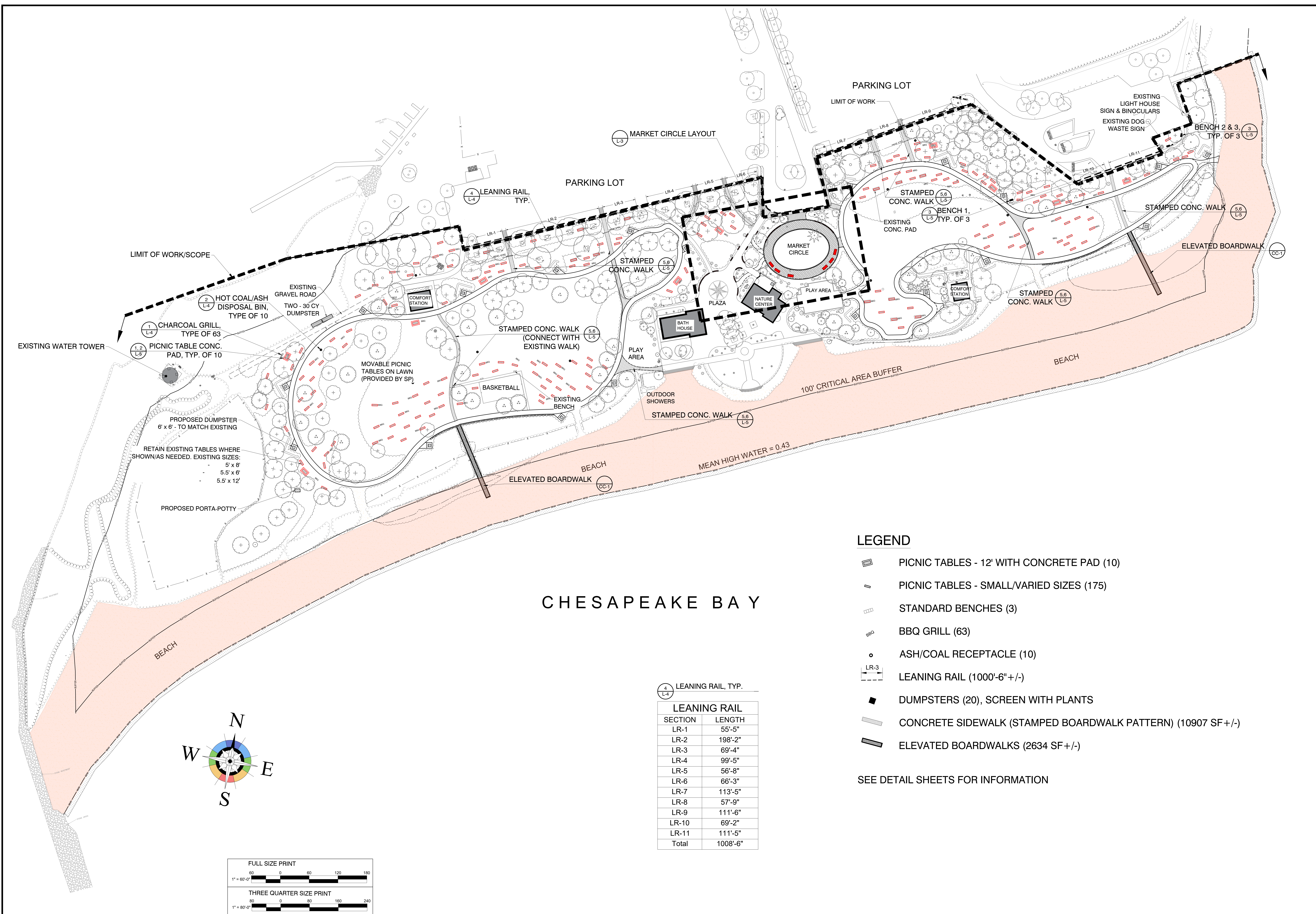


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DEMOLITION PLAN
SANDY POINT STATE PARK
SOUTH BEACH RESTORATION
TAX ID: 03-000-29043249
1100 E. COLLEGE PARKWAY
ANNAPOLIS, MARYLAND 21409
THIRD DISTRICT ANNE ARUNDEL COUNTY ZONED OS

Date: OCTOBER 2023
Job Number: 23-001 / 21-8065
Scale: 1"=10'
Drawn By: JSP
Approved By: GSR
Folder Reference: SANDY POINT STATE PARK SOUTH BEACH RESTORATION
Sheet No. L-1

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CHESAPEAKE BAY

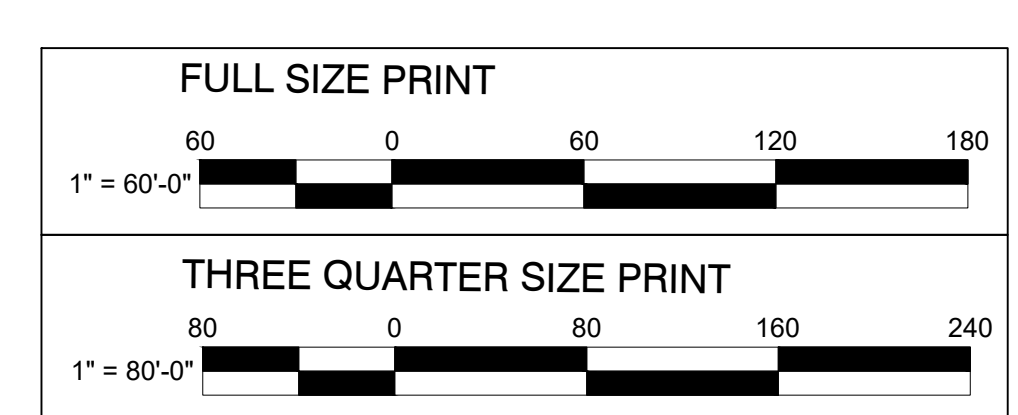
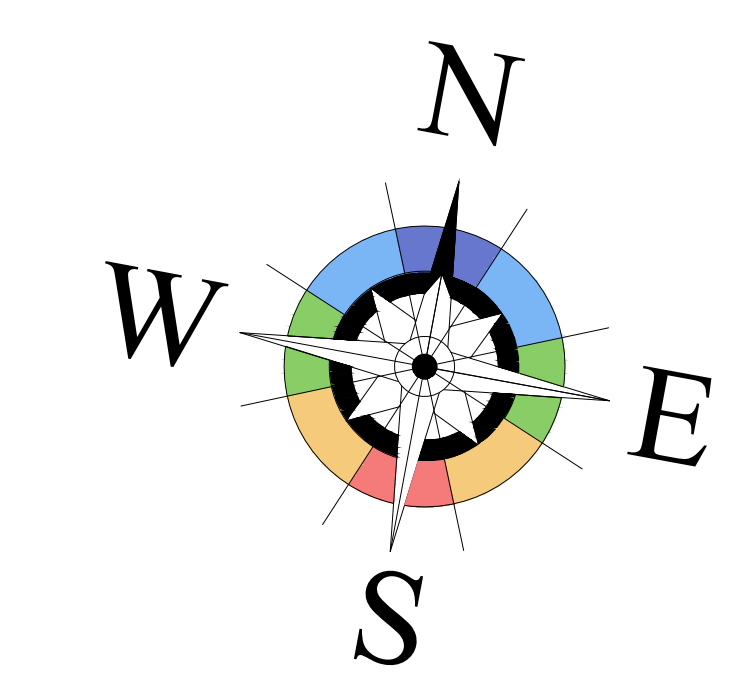
LEGEND

- PICNIC TABLES - 12' WITH CONCRETE PAD (10)
- PICNIC TABLES - SMALL/VARIED SIZES (175)
- STANDARD BENCHES (3)
- BBQ GRILL (63)
- ASH/COAL RECEPTACLE (10)
- LEANING RAIL (1000'-6" +/-)
- DUMPSTERS (20), SCREEN WITH PLANTS
- CONCRETE SIDEWALK (STAMPED BOARDWALK PATTERN) (10907 SF +/-)
- ELEVATED BOARDWALKS (2634 SF +/-)

SEE DETAIL SHEETS FOR INFORMATION

LEANING RAIL, TYP.

SECTION	LENGTH
LR-1	55'-5"
LR-2	198'-2"
LR-3	69'-4"
LR-4	99'-5"
LR-5	56'-8"
LR-6	66'-3"
LR-7	113'-5"
LR-8	57'-9"
LR-9	111'-6"
LR-10	69'-2"
LR-11	111'-5"
Total	1008'-6"



PLOTTED: Sep 14, 2023, 9:28am



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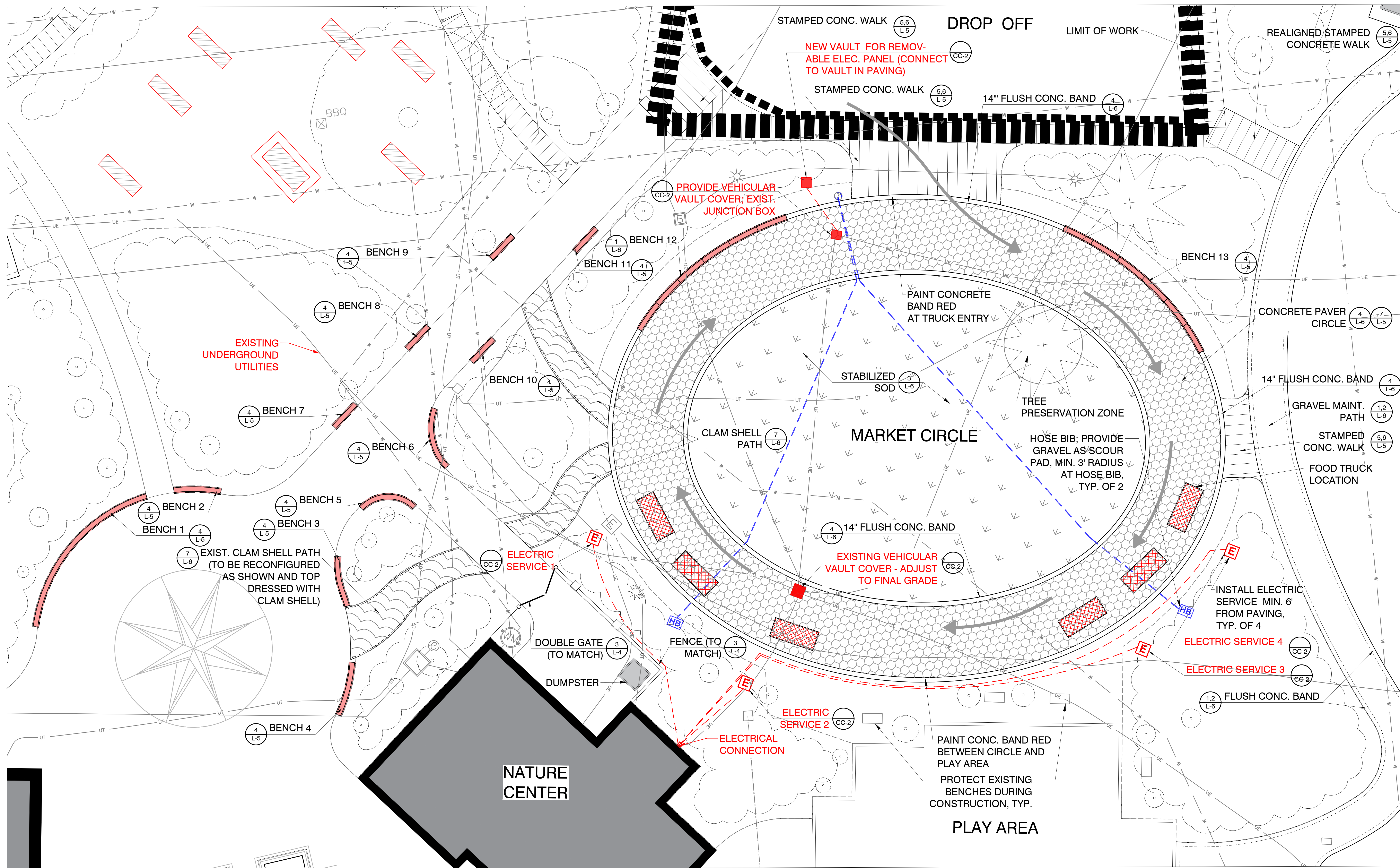
FURNITURE & MATERIALS PLAN

**SANDY POINT STATE PARK
SOUTH BEACH RESTORATION**

TAX MAP 41, GRID 21, PARCEL 98
1100 E. COLLEGE PARKWAY
ANNAPOLIS, MARYLAND 21409
THIRD DISTRICT ANNE ARUNDEL COUNTY ZONED OS

Date: OCTOBER 2023
Job Number: 23-001 / 21-8065
Scale: 1"=10'
Drawn By: JSP
Approved By: GSR
Folder Reference: SANDY POINT STATE PARK SOUTH BEACH RESTORATION
Sheet No. L-2

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SURFACING SCHEDULE

PATTERN	TYPE	AREA
	VEHICULAR PAVING WAUSAU TILE OCEAN VIEW PAVERS (CONTAINS CRUSHED CLAM SHELLS, SEA-20 & SEA-50, 8\"/>	6840 SF
	STABILIZED LAWN GRASSPAVE? REFER TO DETAIL 3, SHEET L-6 AND NOTES	7365 SF
	OUTER FLUSH CONCRETE BAND REFER TO DETAIL 4, SHEET L-6	443 LF
	INNER FLUSH CONCRETE BAND REFER TO DETAIL 4, SHEET L-6	317 LF
	CRUSHED CLAM SHELL PATH, 2\"/>	890 SF 5.49 CY (CLAM SHELL)
	STAMPED CONCRETE WALK REFER TO DETAIL 5 & 6, SHEET L-5	

1 LAYOUT FOR MARKET CIRCLE AND SURROUNDING AREA
SCALE: 1"=10'-0"

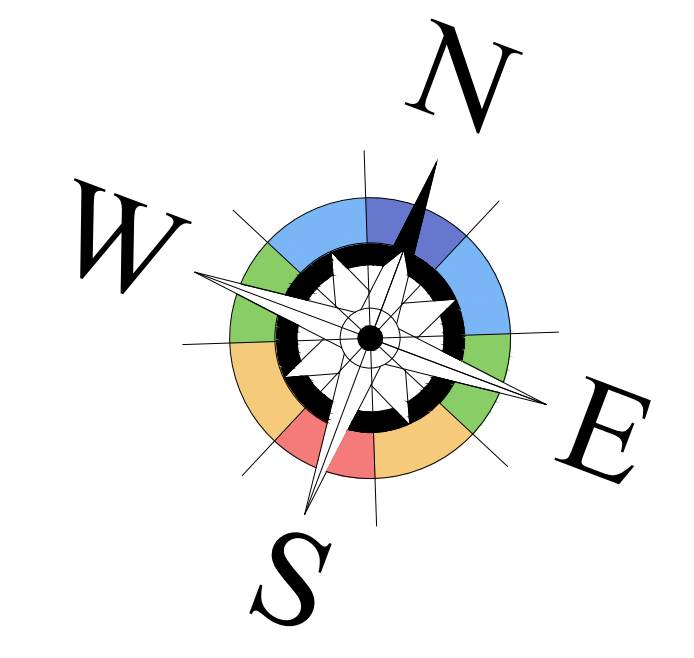
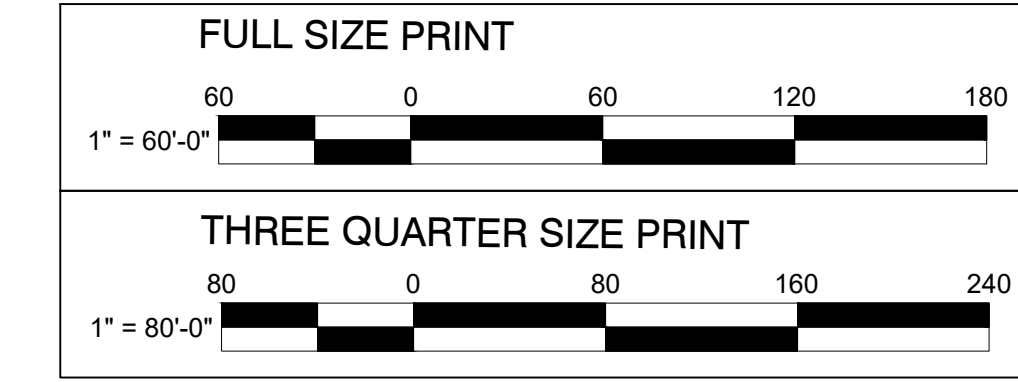
- LEGEND**
- FOOD TRUCK LOCATION
 - CONCEPTUAL ELECTRIC TO BE DESIGNED BY ELECTRICAL ENGINEER, LOCATE 6' OFF OF ELLIPTICAL PAVING
 - PAVING TO BE REMOVED
 - FOOD TRUCK DRIVING DIRECTION
 - HOSE BIB, LOCATE MIN. 6' OFF OF ELLIPTICAL PAVING, GRAVEL AS SCOUR PAD AT BASE OF AND AROUND PIPING

PRE-CAST BENCH SCHEDULE

BENCH #	QTY	LENGTH	SEGMENTS	TYPE	FOOTING
1	1	46'-0"	6	RADIUS	GRAVEL
2	1	12'-0"	1	RADIUS	GRAVEL
3	1	13'-0"	1	RADIUS	GRAVEL
4	1	14'-0"	1	RADIUS	GRAVEL
5	1	15'-0"	1	RADIUS	GRAVEL
6	1	16'-0"	1	RADIUS	GRAVEL
7, 8, 9, 10, 11	5	8'-0"	1	STRAIGHT	GRAVEL
12	1	48'-0"	6	ELLIPSE	CONCRETE
13	1	48'-0"	6	ELLIPSE	CONCRETE

FINISH - ACID ETCH
COLOR - TO BE DETERMINED

- NOTES:**
- FOOD TRUCK CIRCULATION SHALL BE CLOCKWISE SO THAT SERVICE WINDOWS FACE THE PEDESTRIAN SIDE OF TRUCK.
 - THIS DRAWING IS A DIAGRAM FOR UTILITY DESIGN PURPOSES; DESIGN BY LICENSED ELECTRICAL ENGINEER. STAMP REQUIRED.



PLOTTED: Sep 14, 2023, 5:35pm



Revisions

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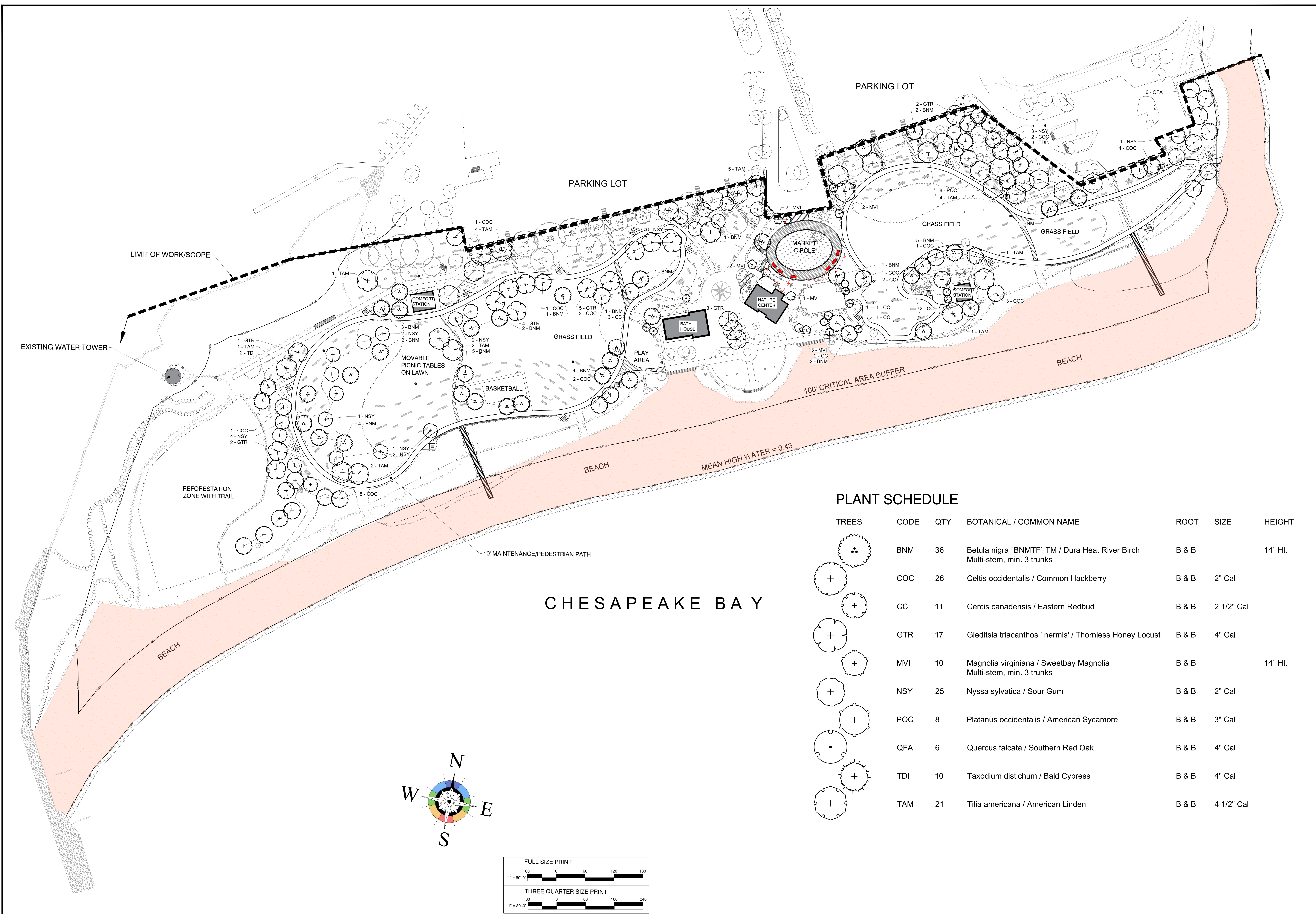


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MARKET CIRCLE LAYOUT
SANDY POINT STATE PARK
SOUTH BEACH RESTORATION
TAX MAP 41, GRID 21, PARCEL 98
1100 E. COLLEGE PARKWAY
ANNAPOLIS, MARYLAND 21409
THIRD DISTRICT ANNE ARUNDEL COUNTY ZONED OS

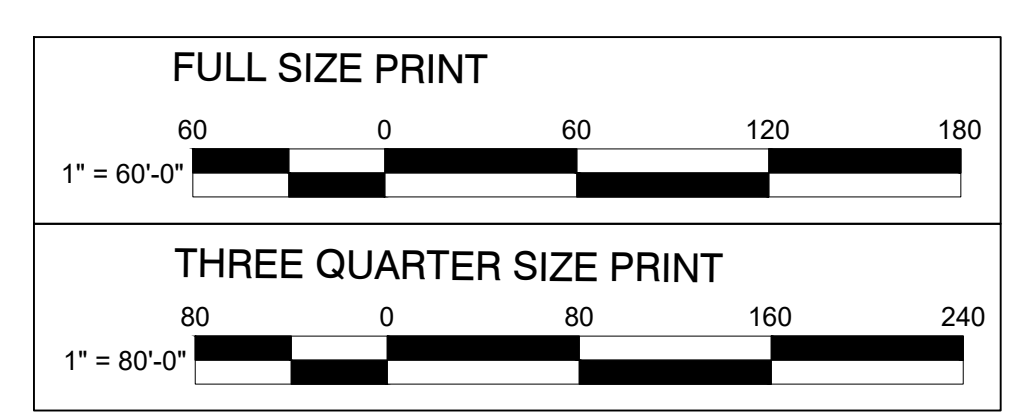
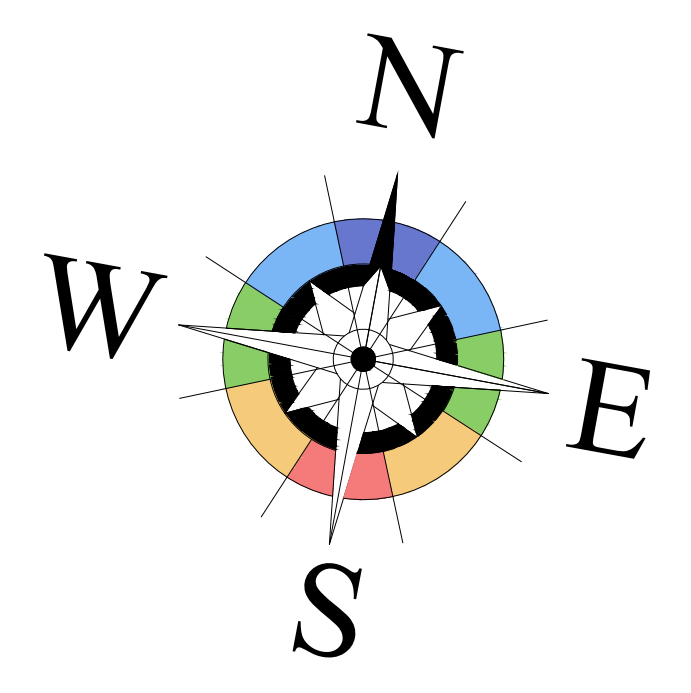
Date: OCTOBER 2023
Job Number: 23-001 / 21-8055
Scale: 1"=10'
Drawn By: JSP
Approved By: GSR
Folder Reference: SANDY POINT STATE PARK SOUTH BEACH RESTORATION
Sheet No. L-3

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PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	HEIGHT
	BNM	36	Betula nigra 'BNMTF' TM / Dura Heat River Birch Multi-stem, min. 3 trunks	B & B		14' Ht.
	COC	26	Celtis occidentalis / Common Hackberry	B & B	2" Cal	
	CC	11	Cercis canadensis / Eastern Redbud	B & B	2 1/2" Cal	
	GTR	17	Gleditsia triacanthos 'Inermis' / Thornless Honey Locust	B & B	4" Cal	
	MVI	10	Magnolia virginiana / Sweetbay Magnolia Multi-stem, min. 3 trunks	B & B		14' Ht.
	NSY	25	Nyssa sylvatica / Sour Gum	B & B	2" Cal	
	POC	8	Platanus occidentalis / American Sycamore	B & B	3" Cal	
	QFA	6	Quercus falcata / Southern Red Oak	B & B	4" Cal	
	TDI	10	Taxodium distichum / Bald Cypress	B & B	4" Cal	
	TAM	21	Tilia americana / American Linden	B & B	4 1/2" Cal	



PLOTTED: Sep 14, 2023, 3:45pm



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Rev. #	By	Date	Description



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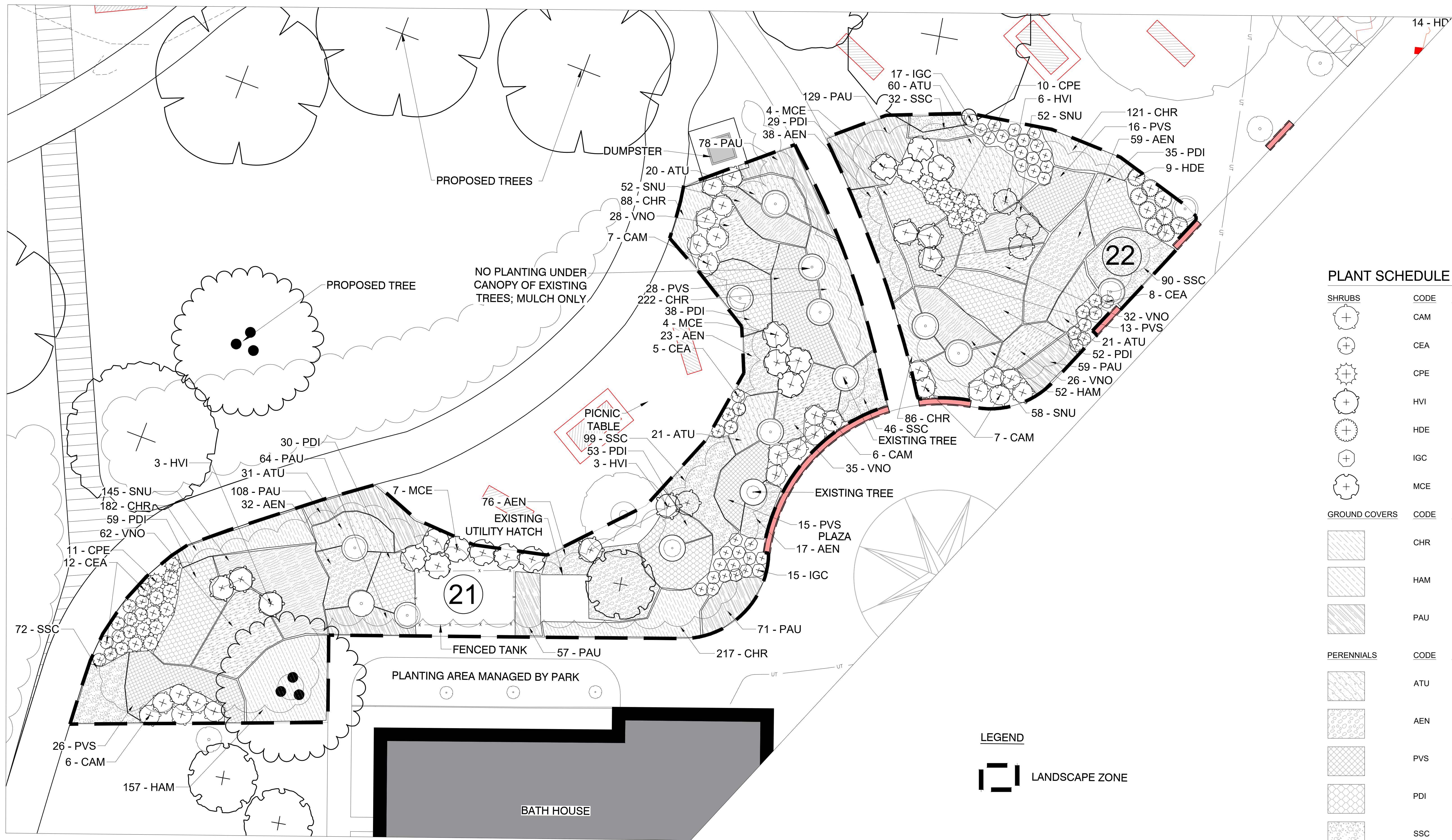


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TREE PLANTING PLAN
SANDY POINT STATE PARK
SOUTH BEACH RESTORATION
TAX ID: 03-000-29043249
1100 E. COLLEGE PARKWAY
ANNAPOLIS, MARYLAND 21409
THIRD DISTRICT ANNE ARUNDEL COUNTY ZONED OS

Date: OCTOBER, 2023
Job Number: 23-001 / 21-8065
Scale: 1" = 80'
Drawn By: SIR
Approved By: SIR
Folder Reference: SANDY POINT STATE PARK SOUTH BEACH RESTORATION
Sheet No. **L-7**

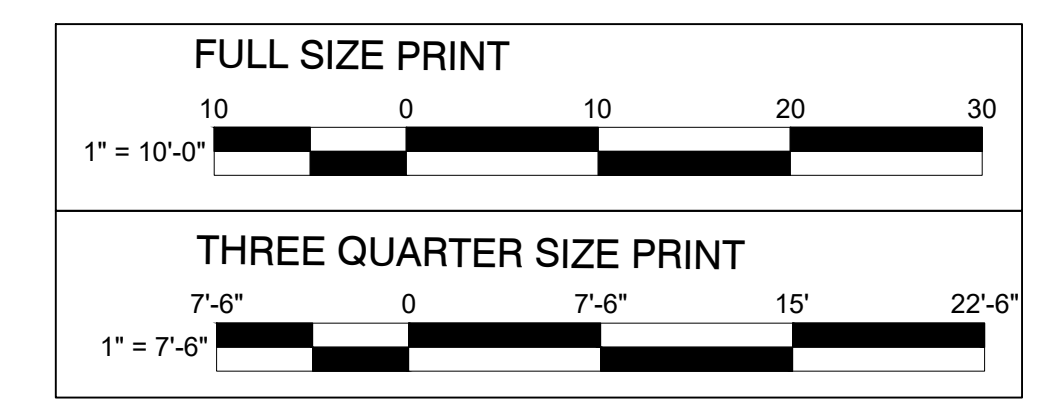
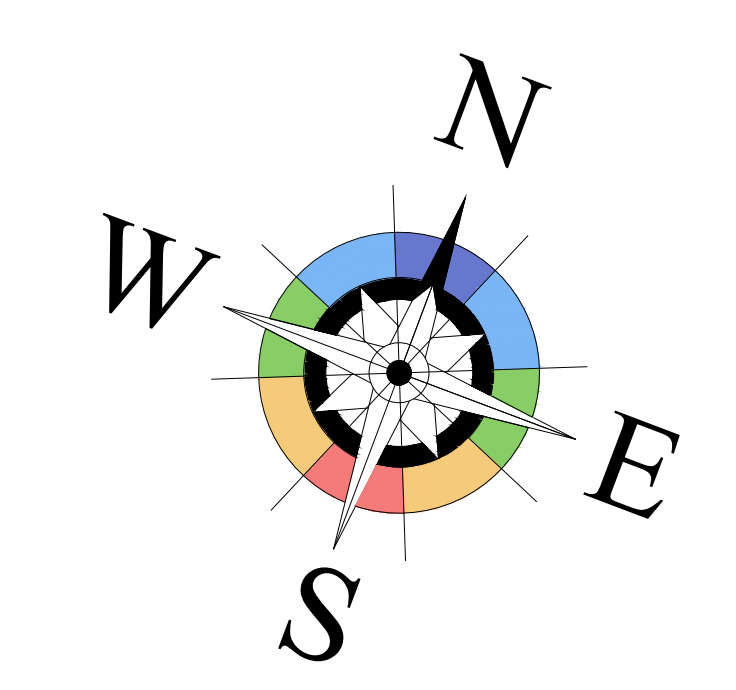
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PLANT SCHEDULE ZONES 21, 22

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	HT./SPD.
	CAM	26	Callicarpa americana / American Beautyberry	Cont.	1 gal.	18" Ht.
	CEA	25	Ceanothus americanus / New Jersey Tea	Cont.	1 gal.	24" Ht.
	CPE	21	Comptonia peregrina / Sweet Fern	Cont.	1 gal.	18" Ht.
	HVI	12	Hamamelis virginiana / Common Witch Hazel	Cont.	3 gal.	30" Ht.
	HDE	9	Hypericum densiflorum / Bushy St. John's Wort	Cont.	1 gal.	18" Ht.
	IGC	32	Ilex glabra 'Compacta' / Compact Inkberry	Cont.	3 gal.	18" Ht.
	MCE	15	Myrica cerifera / Wax Myrtle	Cont.	3 gal.	30" Ht.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	
	CHR	916	Chrysogonum virginianum / Golden Star	Cont.	2 Qt.	12" o.c.
	HAM	209	Heuchera americana / American Alumroot	Cont.	2 Qt.	18" o.c.
	PAU	566	Packera aurea / Golden Groundsel	Cont.	2 Qt.	15" o.c.
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	
	ATU	153	Asclepias tuberosa / Butterfly Milkweed	Cont.	2 Qt.	24" o.c.
	AEN	245	Aster novae-angliae / New England Aster	Cont.	2 Qt.	24" o.c.
	PVS	98	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	Cont.	2 Qt.	36" o.c.
	PDI	296	Penstemon digitalis / Beardtongue	Cont.	2 Qt.	24" o.c.
	SSC	339	Schizachyrium scoparium / Little Bluestem	Cont.	2 Qt.	18" o.c.
	SNU	307	Sorghastrum nutans / Indian Grass	Cont.	2 Qt.	18" o.c.
	VNO	183	Vernonia noveboracensis / Comon Ironweed	Cont.	2 Qt.	24" o.c.

1 ZONE D LANDSCAPE, AREAS 21 AND 22 PLANTING
SCALE: 1"=10'-0"



PLOTTED: Sep 14, 2023, 3:41pm



Revisions			
Rev. #	By	Date	Description



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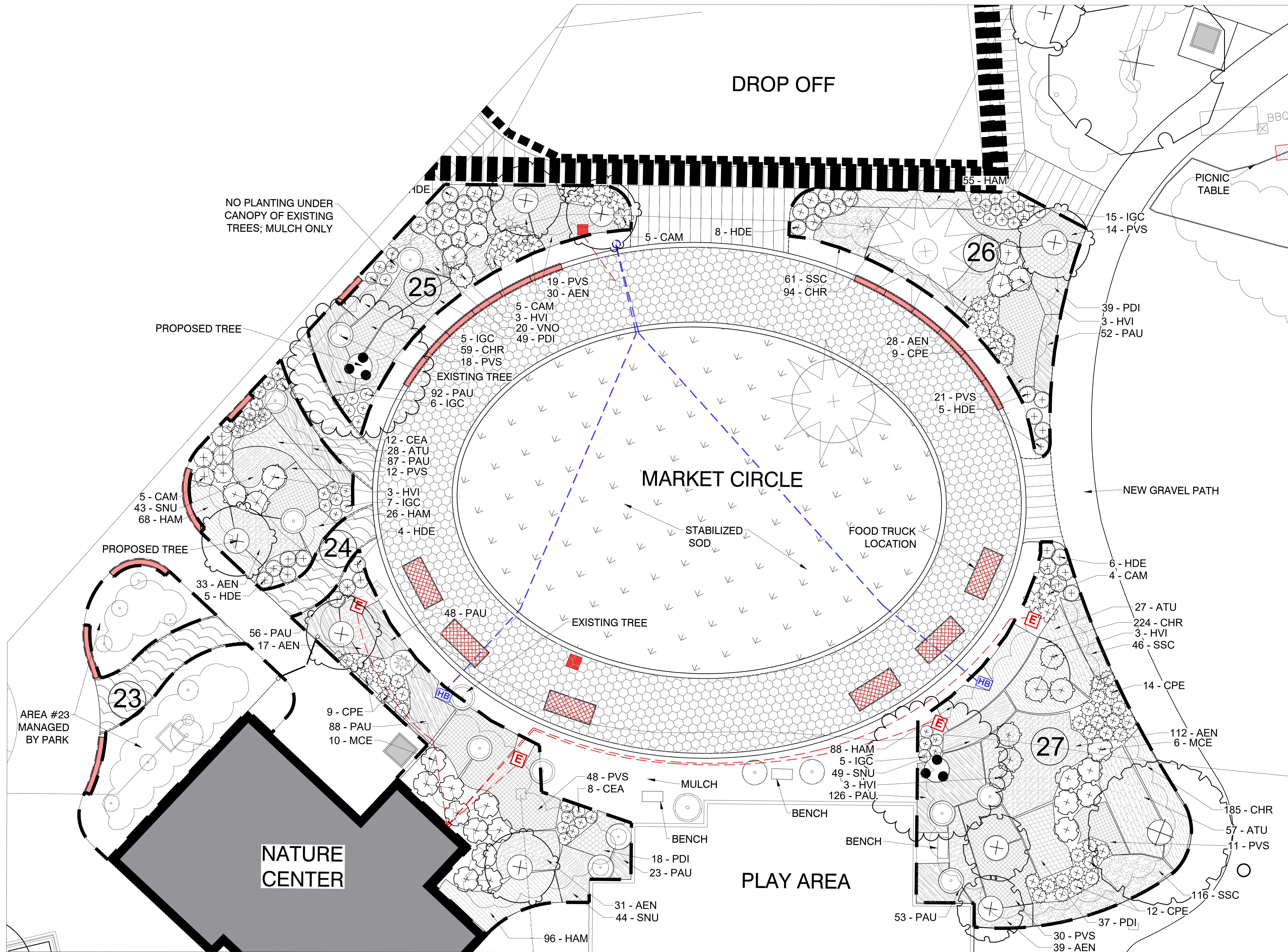


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Engineers, Planners and Surveyors
2661 Riva Road, Building 800
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small: info@bayengineering.com 410.897.9295 fax
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PLANTING ENLARGEMENT
SANDY POINT STATE PARK
SOUTH BEACH RESTORATION
TAX ID: 03-000-29043249
1100 E. COLLEGE PARKWAY
ANNAPOLIS, MARYLAND 21409
THIRD DISTRICT ANNE ARUNDEL COUNTY ZONED OS

Date: OCTOBER, 2023
Job Number: 23-001 / 21-8065
Scale: 1"=10'-0"
Drawn By: JSP
Approved By: SIR
Folder Reference: SANDY POINT STATE PARK SOUTH BEACH RESTORATION
Sheet No. **L-8**

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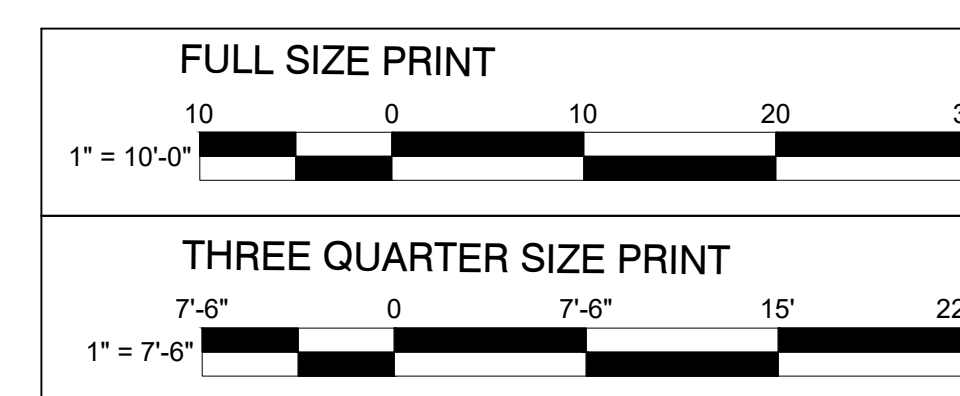
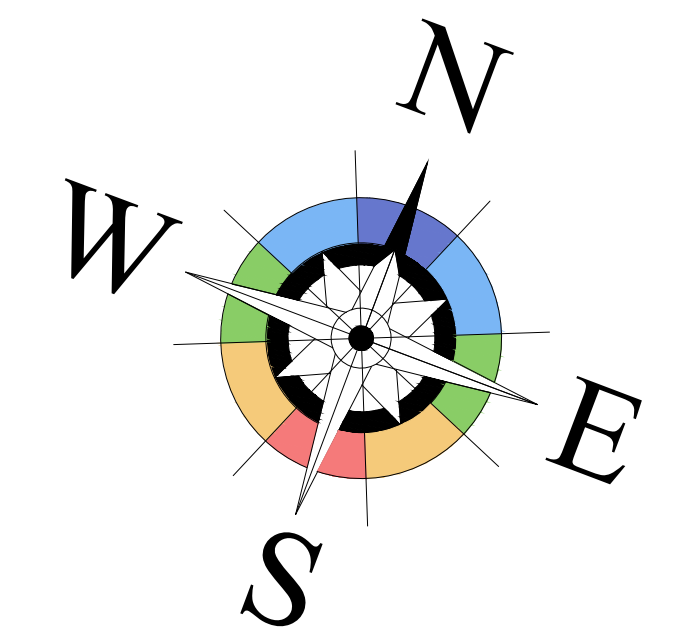
PLANT SCHEDULE ZONES 23, 24, 25, 26, 27

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	HT./SPD.
	CAM	19	Callicarpa americana / American Beautyberry	Cont.	1 gal.	18" Ht.
	CEA	20	Ceanothus americanus / New Jersey Tea	Cont.	1 gal.	24" Ht.
	CPE	44	Comptonia peregrina / Sweet Fern	Cont.	1 gal.	18" Ht.
	HVI	15	Hamamelis virginiana / Common Witch Hazel	Cont.	3 gal.	30" Ht.
	HDE	42	Hypericum densiflorum / Bushy St. John's Wort	Cont.	1 gal.	18" Ht.
	IGC	38	Ilex glabra 'Compacta' / Compact Inkberry	Cont.	3 gal.	18" Ht.
	MCE	16	Myrica cerifera / Wax Myrtle	Cont.	3 gal.	30" Ht.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	
	CHR	562	Chrysogonum virginianum / Golden Star	Cont.	2 Qt.	12" o.c.
	HAM	333	Heuchera americana / American Alumroot	Cont.	2 Qt.	18" o.c.
	PAU	625	Packera aurea / Golden Groundsel	Cont.	2 Qt.	15" o.c.
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	
	ATU	112	Asclepias tuberosa / Butterfly Milkweed	Cont.	2 Qt.	24" o.c.
	AEN	290	Aster novae-angliae / New England Aster	Cont.	2 Qt.	24" o.c.
	PVS	173	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	Cont.	2 Qt.	36" o.c.
	PDI	143	Penstemon digitalis / Beardtongue	Cont.	2 Qt.	24" o.c.
	SSC	223	Schizachyrium scoparium / Little Bluestem	Cont.	2 Qt.	18" o.c.
	SNU	136	Sorghastrum nutans / Indian Grass	Cont.	2 Qt.	18" o.c.
	VNO	20	Vernonia noveboracensis / Common Ironweed	Cont.	2 Qt.	24" o.c.

LEGEND



1 ZONE D LANDSCAPE, AREAS 23, 24, 25, 26, AND 27 PLANTING
SCALE: 1"=10'-0"



PLOTTED: Sep 14, 2023, 9:42am



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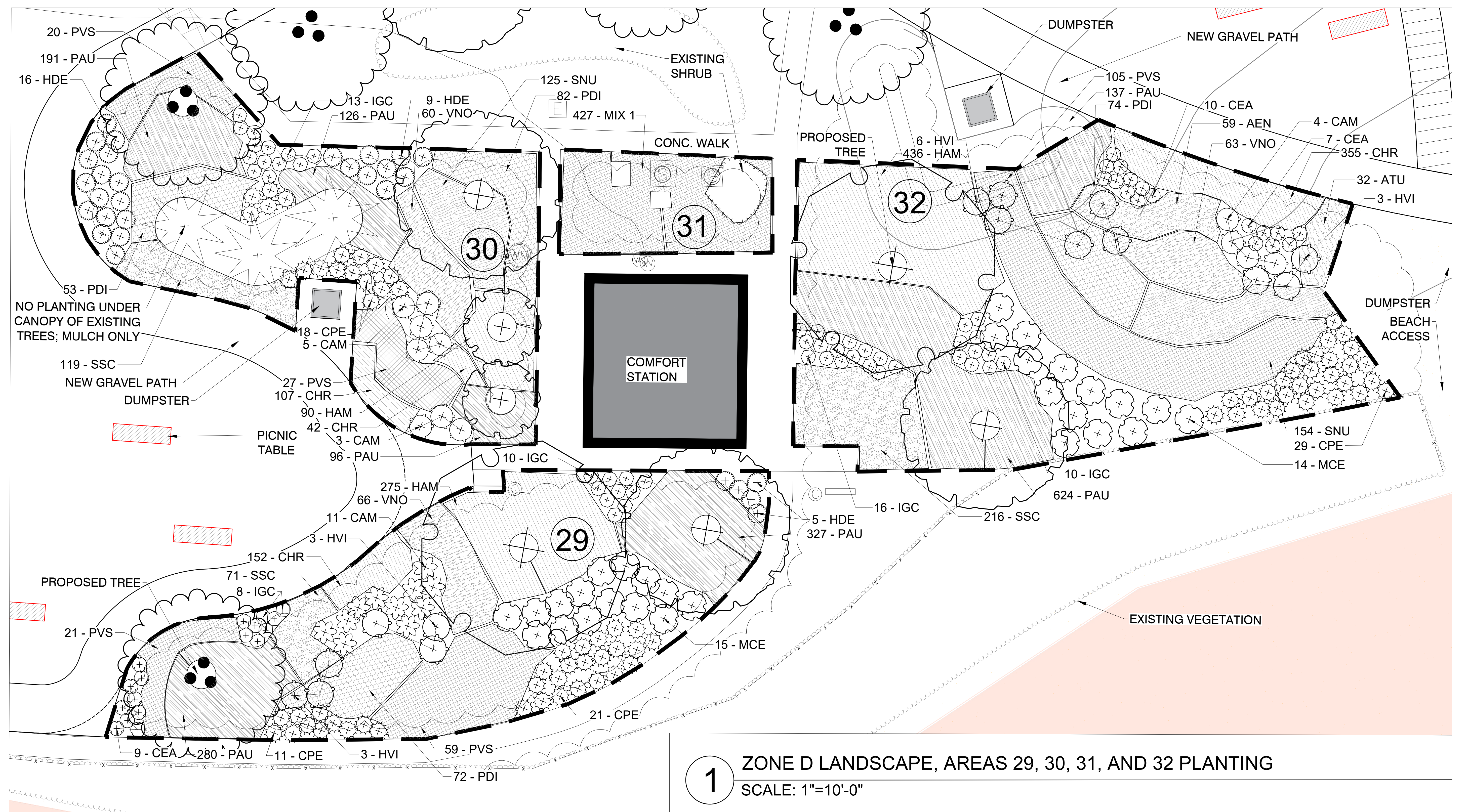
PLANTING ENLARGEMENT
SANDY POINT STATE PARK
SOUTH BEACH RESTORATION
TAX MAP 41, GRID 21, PARCEL 98
1100 E. COLLEGE PARKWAY
ANNAPOLIS, MARYLAND 21409
THIRD DISTRICT ANNE ARUNDEL COUNTY ZONED OS

Date: OCTOBER 2023
Job Number: 23-001 / 21-8065
Scale: 1"=10'-0"
Drawn By: JSP
Approved By: SIR
Folder Reference: SANDY POINT STATE PARK SOUTH BEACH RESTORATION
Sheet No. L-9

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PLANT SCHEDULE - AREAS 29, 30, 31, 32

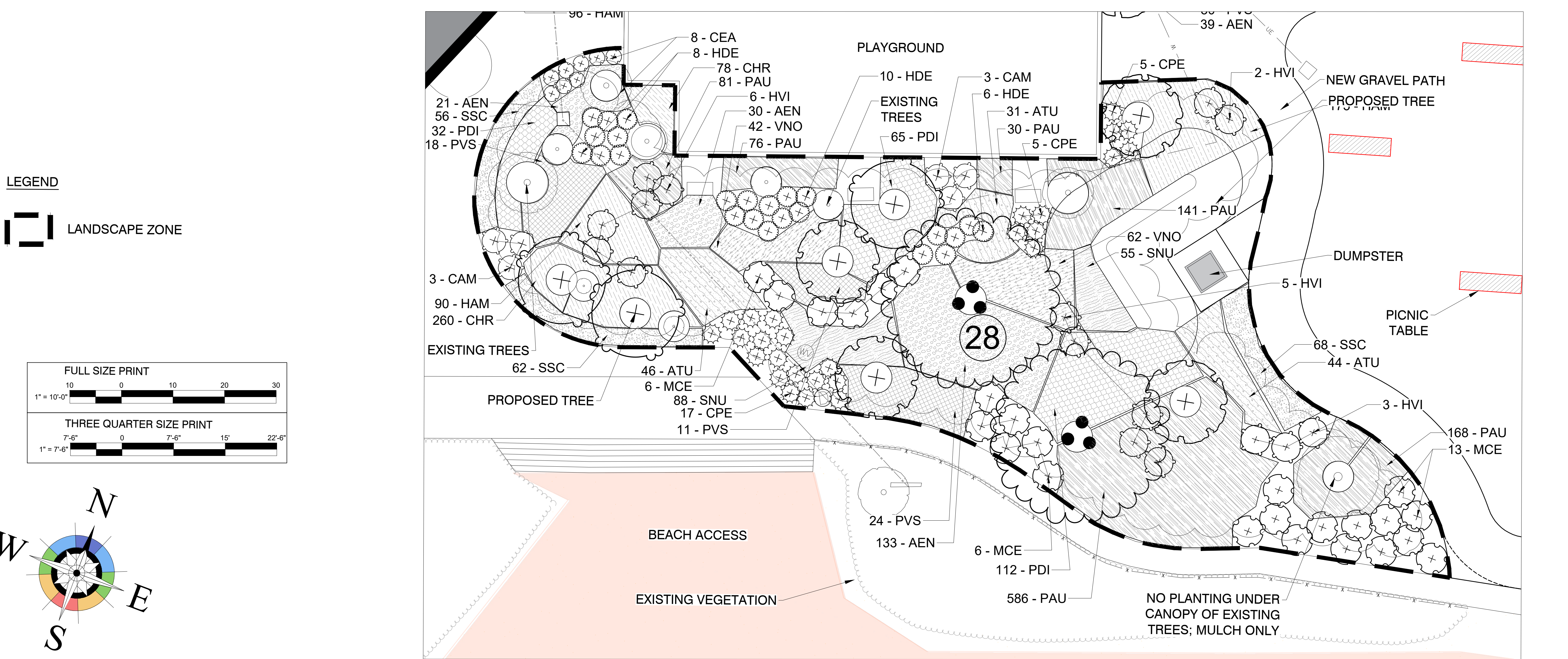
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	HT./SPD.
	CAM	23	Callicarpa americana / American Beautyberry	Cont.	1 gal.	18" Ht.
	CEA	26	Ceanothus americanus / New Jersey Tea	Cont.	1 gal.	24" Ht.
	CPE	79	Comptonia peregrina / Sweet Fern	Cont.	1 gal.	18" Ht.
	HVI	15	Hamamelis virginiana / Common Witch Hazel	Cont.	3 gal.	30" Ht.
	HDE	30	Hypericum densiflorum / Bushy St. John's Wort	Cont.	1 gal.	18" Ht.
	IGC	57	Ilex glabra 'Compacta' / Compact Inkberry	Cont.	3 gal.	18" Ht.
	MCE	29	Myrica cerifera / Wax Myrtle	Cont.	3 gal.	30" Ht.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	
	CHR	656	Chrysogonum virginianum / Golden Star	Cont.	2 Qt.	12" o.c.
	HAM	801	Heuchera americana / American Alumroot	Cont.	2 Qt.	18" o.c.
	PAU	1,781	Packera aurea / Golden Groundsel	Cont.	2 Qt.	15" o.c.
	MIX 1	427	Shade Mix 1 / Golden Groundsel/Alumroot Packera aurea / Heuchera americana	Cont.	2 Qt.	16" o.c.
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	
	ATU	32	Asclepias tuberosa / Butterfly Milkweed	Cont.	2 Qt.	24" o.c.
	AEN	59	Aster novae-angliae / New England Aster	Cont.	2 Qt.	24" o.c.
	PVS	232	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	Cont.	2 Qt.	36" o.c.
	PDI	281	Penstemon digitalis / Beardtongue	Cont.	2 Qt.	24" o.c.
	SSC	406	Schizachyrium scoparium / Little Bluestem	Cont.	2 Qt.	18" o.c.
	SNU	279	Sorghastrum nutans / Indian Grass	Cont.	2 Qt.	18" o.c.
	VNO	189	Vernonia noveboracensis / Comon Ironweed	Cont.	2 Qt.	24" o.c.



1 ZONE D LANDSCAPE, AREAS 29, 30, 31, AND 32 PLANTING
SCALE: 1"=10'-0"

PLANT SCHEDULE - AREA 28

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	HT./SPD.
	CAM	6	Callicarpa americana / American Beautyberry	Cont.	1 gal.	18" Ht.
	CEA	8	Ceanothus americanus / New Jersey Tea	Cont.	1 gal.	24" Ht.
	CPE	27	Comptonia peregrina / Sweet Fern	Cont.	1 gal.	18" Ht.
	HVI	16	Hamamelis virginiana / Common Witch Hazel	Cont.	3 gal.	30" Ht.
	HDE	24	Hypericum densiflorum / Bushy St. John's Wort	Cont.	1 gal.	18" Ht.
	MCE	25	Myrica cerifera / Wax Myrtle	Cont.	3 gal.	30" Ht.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	
	CHR	338	Chrysogonum virginianum / Golden Star	Cont.	2 Qt.	12" o.c.
	HAM	265	Heuchera americana / American Alumroot	Cont.	2 Qt.	18" o.c.
	PAU	1,082	Packera aurea / Golden Groundsel	Cont.	2 Qt.	15" o.c.
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	
	ATU	121	Asclepias tuberosa / Butterfly Milkweed	Cont.	2 Qt.	24" o.c.
	AEN	184	Aster novae-angliae / New England Aster	Cont.	2 Qt.	24" o.c.
	PVS	53	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	Cont.	2 Qt.	36" o.c.
	PDI	209	Penstemon digitalis / Beardtongue	Cont.	2 Qt.	24" o.c.
	SSC	186	Schizachyrium scoparium / Little Bluestem	Cont.	2 Qt.	18" o.c.
	SNU	143	Sorghastrum nutans / Indian Grass	Cont.	2 Qt.	18" o.c.
	VNO	104	Vernonia noveboracensis / Comon Ironweed	Cont.	2 Qt.	24" o.c.



2 ZONE D LANDSCAPE, AREA 28 PLANTING
SCALE: 1"=10'-0"

LEGEND

LANDSCAPE ZONE

FULL SIZE PRINT
1" = 10'-0"
0 10 20 30

THREE QUARTER SIZE PRINT
1" = 7'-6"
0 7'-6" 15' 22'-6"

PLOTTED: Sep 14, 2023, 5:42pm

Revisions			
Rev. #	By	Date	Description

ANNAPOLIS LANDSCAPE ARCHITECTS
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Coastal Construction Services, LLC
Preserving Our Waterways

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NATURAL RESOURCE MANAGEMENT
ECOLOGICAL RESTORATION

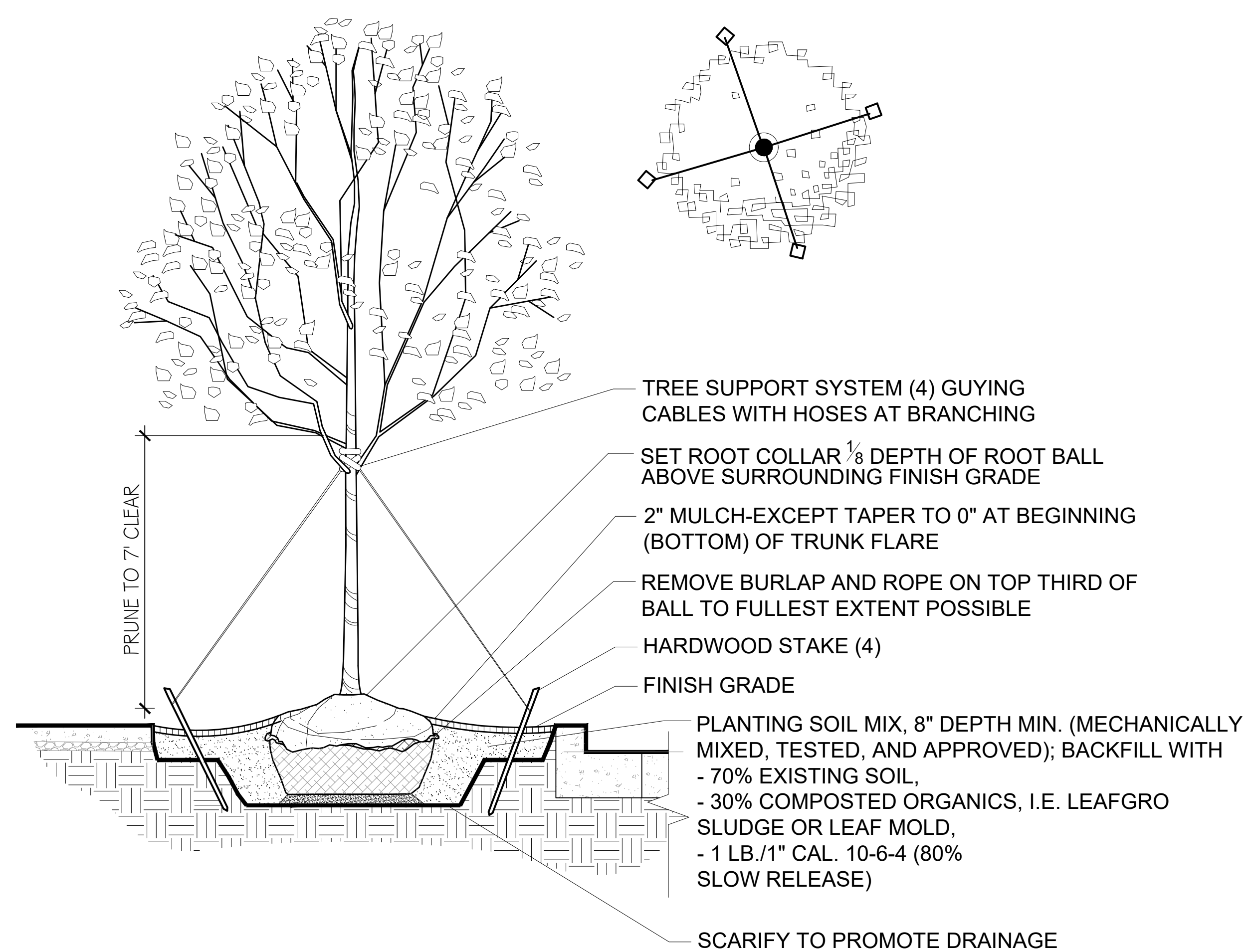
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PLANTING ENLARGEMENT
SANDY POINT STATE PARK
SOUTH BEACH RESTORATION

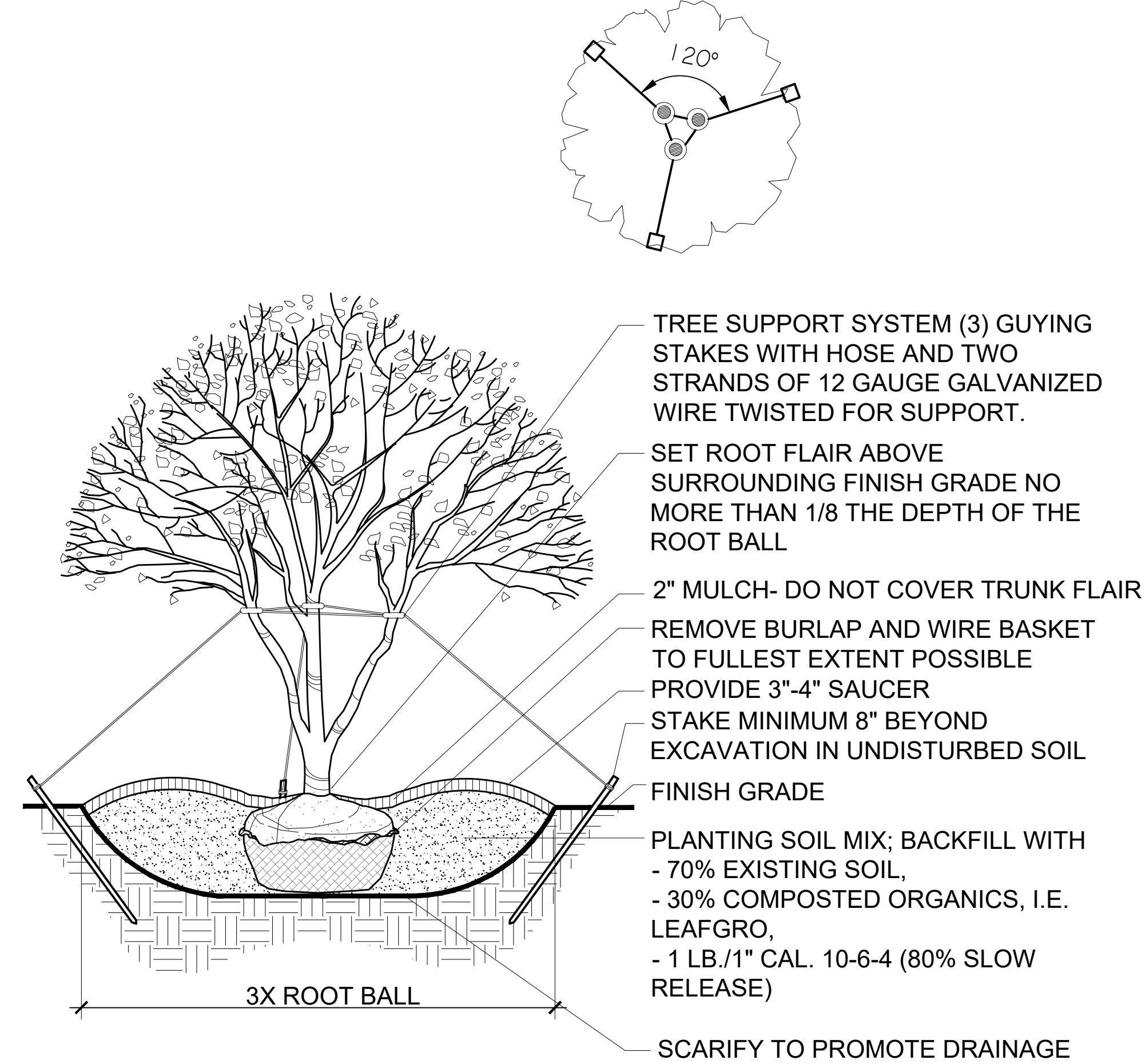
TAX ID: 03-000-29043249
TAX MAP 41, GRID 21, PARCEL 98
1100 E. COLLEGE PARKWAY
ANNAPOLIS, MARYLAND 21409
THIRD DISTRICT ANNE ARUNDEL COUNTY ZONED OS

Date: OCTOBER 2023
Job Number: 23-001 / 21-8055
Scale: 1"=10'-0"
Drawn By: JSP
Approved By: SIR
Folder Reference: SANDY POINT STATE PARK SOUTH BEACH RESTORATION
Sheet No. L-10

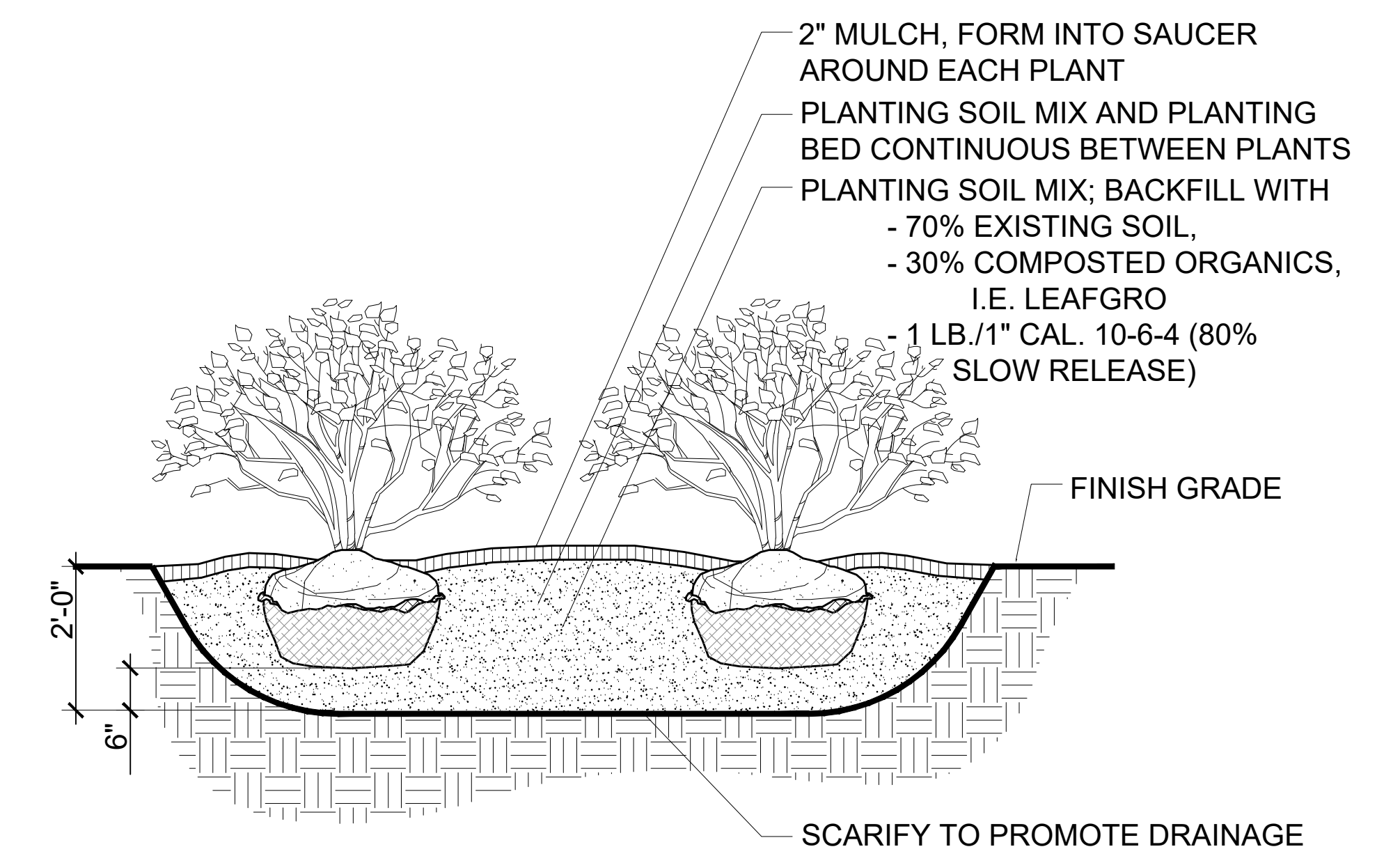
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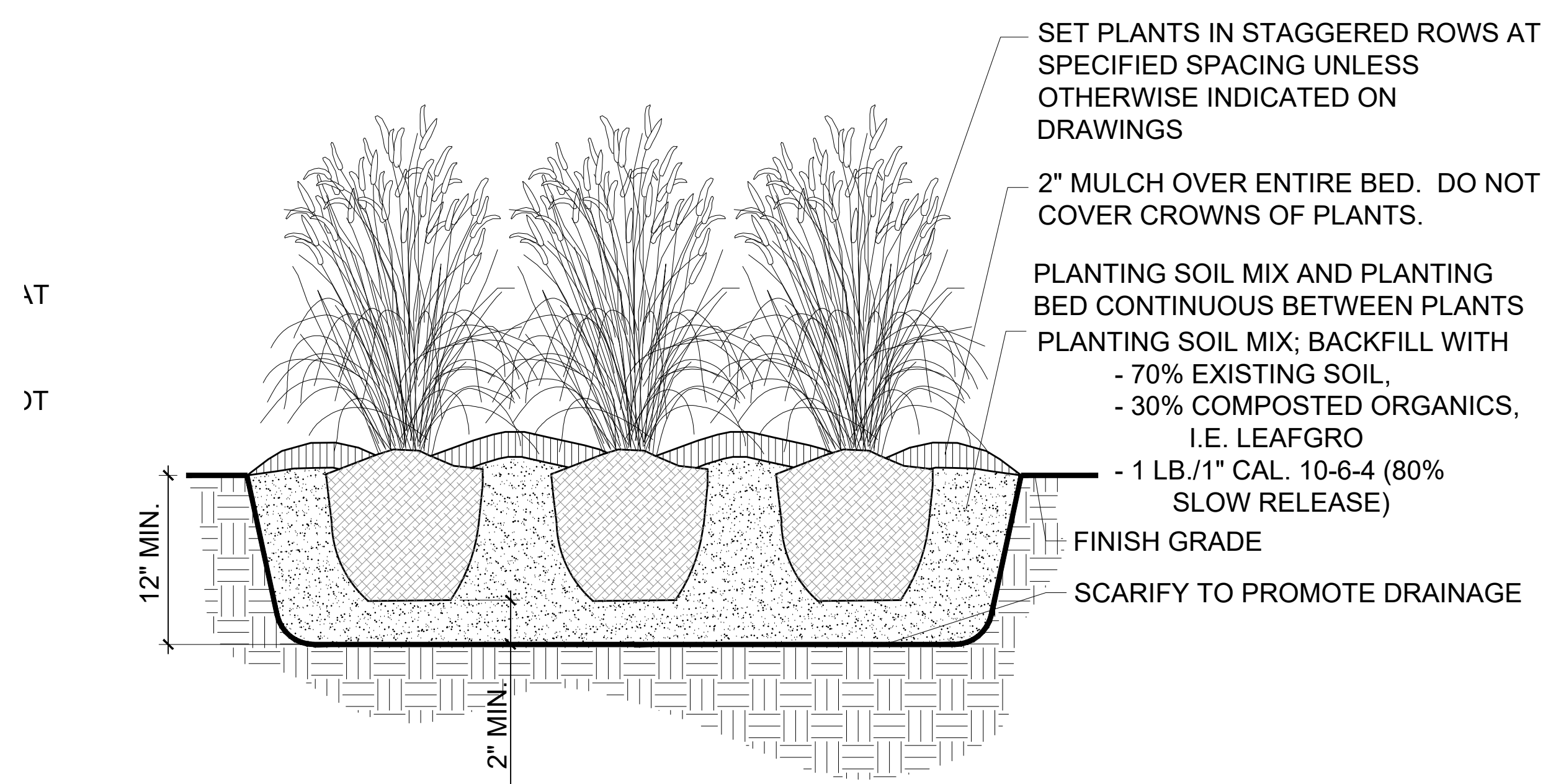
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SCALE: Not to Scale



2 MULTI-STEM TREE PLANTING DETAIL
SCALE: Not to Scale



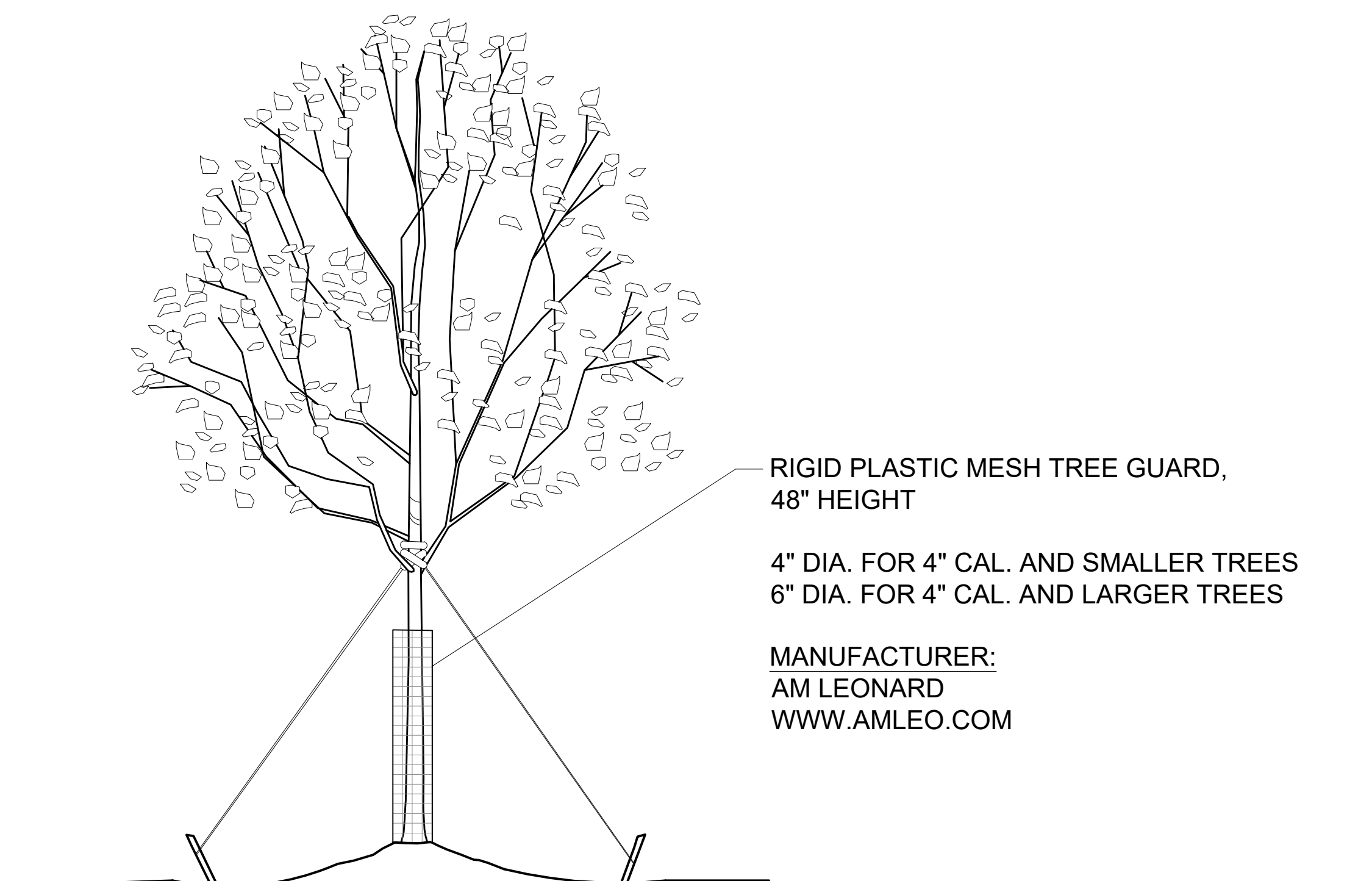
3 SHRUB PLANTING DETAIL
SCALE: Not to Scale



4 PERENNIAL PLANTING BED DETAIL
SCALE: Not to Scale

SPECIFICATIONS FOR PLANTING:

1. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL SITE UTILITIES.
2. CONTRACTOR SHALL OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF ALL STAKED OUT LAYOUT BEFORE PROCEEDING WITH CONSTRUCTION.
3. NO PLANT MATERIAL SHALL BE PUT INTO THE GROUND BEFORE FINISHED GRADE AND BED PREP AERATION HAVE BEEN APPROVED BY THE LANDSCAPE ARCHITECT.
4. THE CONTRACTOR SHALL PROCEED WITH LANDSCAPE INSTALLATION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITION OF THE "LANDSCAPE SPECIFICATION GUIDELINES", LANDSCAPE CONTRACTORS ASSOCIATION OF MD, DC, AND VA. TEL:301-948-0810.
5. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY PROPOSED PLANT SUBSTITUTIONS AND ALL PLANT SUBSTITUTIONS SHALL BE APPROVED AND DOCUMENTED WITH WRITTEN APPROVAL OF THE OWNER. THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST IF DISCREPANCIES OCCUR.
6. ALL SHRUBS SHALL BE DENSE, HEAVY TO THE GROUND, WELL GROWN, VIGOROUS, HEALTHY AND OF GOOD COLOR. ALL PLANTS SHALL BE SOUND, FREE OF PLANT DISEASE OR INSECT ACTIVITY AND SHALL HAVE HEALTHY NORMAL ROOT SYSTEMS. ALL PLANTS SHALL BE NURSERY GROWN. PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY. THE SHAPE OF THE PLANT IN GENERAL SHALL CONFORM TO ITS NATURAL HABIT, UNLESS OTHERWISE SPECIFIED. ALL PLANTS SHALL CONFORM TO THE BRANCHING, CALIPER, AND HEIGHT SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S PUBLICATION ENTITLED "AMERICAN STANDARD FOR NURSERY STOCK", ANSI A60.1-1980. THE BALL SIZE SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN'S PUBLICATION ENTITLED "AMERICAN STANDARD FOR NURSERY STOCK", ANSI Z60.11980.
7. BACKFILLING SHALL BE DONE WITH SOIL MIX, FREE OF STONES, SUBSOIL, CLAY, LUMPS, STUMPS, ROOTS, WEEDS, BERMUDA GRASS, LITTER, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER GRADING, PLANTING OR MAINTENANCE OPERATIONS. SHOULD ANY UNFORESEEN OR UNSUITABLE PLANTING CONDITIONS ARISE SUCH AS FAULTY SOIL DRAINAGE OR CHEMICAL RESIDUES, THEY SHOULD BE CALLED TO THE ATTENTION OF THE OWNER FOR ADJUSTMENTS BEFORE PLANTING. THE PLANT SHALL BE SET PLUMB AND STRAIGHT AND SHALL BE STAKED AT THE TIME OF PLANTING. BACK-FILL SHALL BE WELL WORKED ABOUT THE ROOTS AND SETTLED IN BY WATERING. PLANTS SHALL BE PLANTED HIGHER THAN SURROUNDING GRADE. SHRUBS WILL BE 1 INCH HIGHER AND TREES WILL BE 3 INCHES HIGHER. REMOVE ROPE FROM AROUND TREE TRUNKS AND LAY BACK BURLAP FROM TOP OF B&B MATERIAL. NON BIODEGRADABLE MATERIALS SUCH AS; NYLON OR VINYL ROPE, WIRE BASKETS, TREATED BURLAP AND TREATED ROPE SHALL BE COMPLETELY REMOVED FROM ALL PLANT MATERIAL PRIOR TO PLANTING.
8. CONTRACTOR SHALL BE RESPONSIBLE DURING THE CONTRACT AND UP TO THE TIME OF ACCEPTANCE FOR KEEPING THE PLANTING AND WORK INCIDENTAL THERETO IN GOOD CONDITION BY REPLANTING, PLANT REPLACEMENT, WATERING, WEEDING, CULTIVATING, PRUNING AND SPRAYING, STAKING, CLEANING UP AND BY PERFORMING ALL OTHER NECESSARY OPERATIONS OF CARE FOR PROMOTION OF GOOD PLANT GROWTH, SO THAT ALL WORK IS IN SATISFACTORY CONDITION AT THE TIME OF ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.



5 TREE GUARD
SCALE: Not to Scale

PLOTTED: Oct 07, 2023, 2:19pm



Revisions			
Rev. #	By	Date	Description



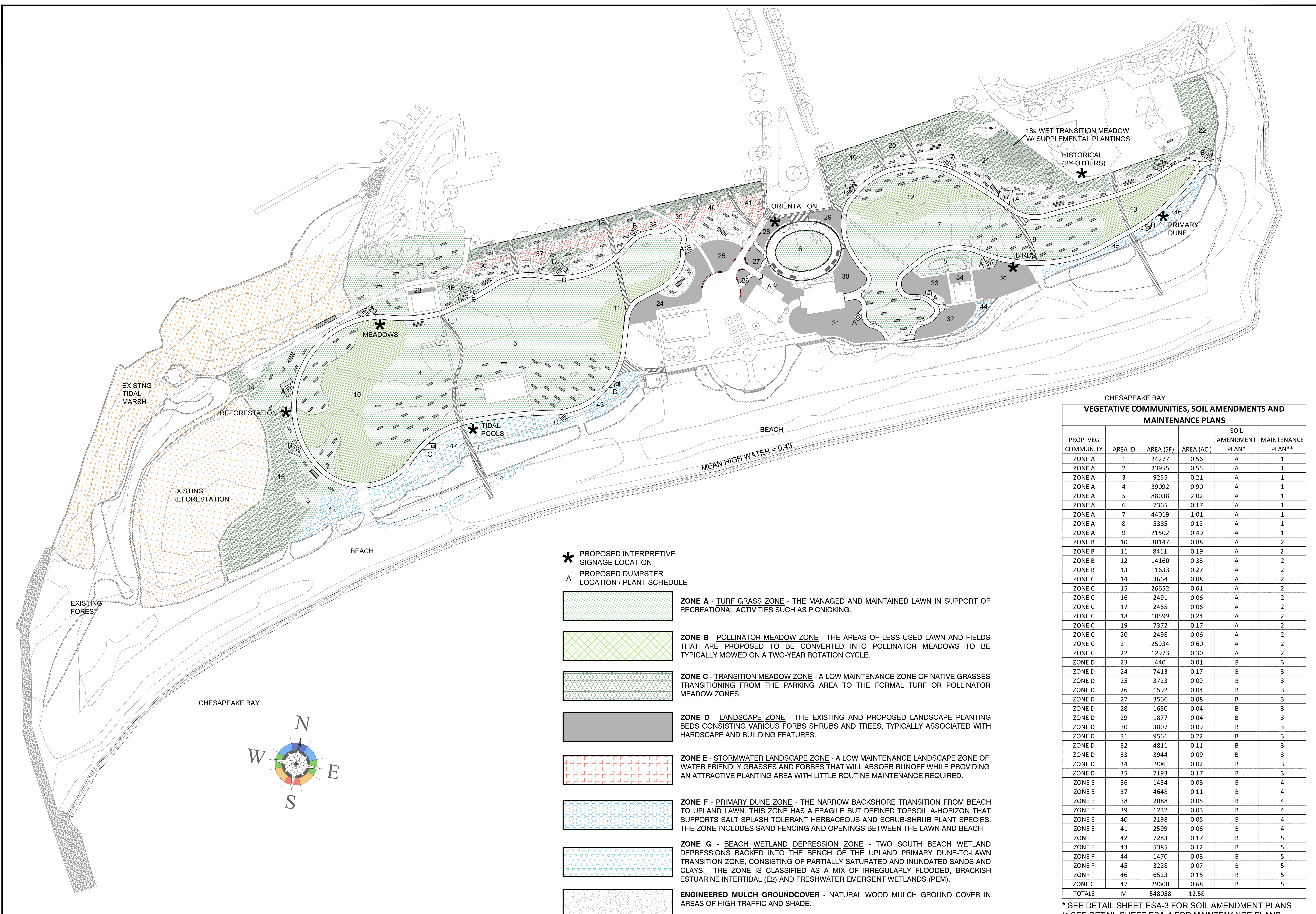
PLANTING DETAILS

**SANDY POINT STATE PARK
SOUTH BEACH RESTORATION**

TAX ID: 03-000-29043249
1100 E. COLLEGE PARKWAY
ANNAPOLIS, MARYLAND 21409
THIRD DISTRICT ANNE ARUNDEL COUNTY ZONED OS

Date	OCTOBER 2023
Job Number	23-001 / 21-8065
Scale	1"=1'
Drawn By	SR
Approved By	SR
Folder Reference	SANDY POINT STATE PARK SOUTH BEACH RESTORATION
Sheet No.	L-11

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CHESAPEAKE BAY
VEGETATIVE COMMUNITIES, SOIL AMENDMENTS AND MAINTENANCE PLANS

PROP. VEG COMMUNITY	AREA ID	AREA (SF)	AREA (AC.)	SOIL AMENDMENT PLAN*	MAINTENANCE PLAN**
ZONE A	1	24277	0.56	A	1
ZONE A	2	23955	0.55	A	1
ZONE A	3	9255	0.21	A	1
ZONE A	4	39092	0.90	A	1
ZONE A	5	88038	2.02	A	1
ZONE A	6	7365	0.17	A	1
ZONE A	7	44019	1.01	A	1
ZONE A	8	5385	0.12	A	1
ZONE A	9	21502	0.49	A	1
ZONE B	10	38147	0.88	A	2
ZONE B	11	8411	0.19	A	2
ZONE B	12	14160	0.33	A	2
ZONE B	13	11633	0.27	A	2
ZONE C	14	3664	0.08	A	2
ZONE C	15	26652	0.61	A	2
ZONE C	16	2491	0.06	A	2
ZONE C	17	2465	0.06	A	2
ZONE C	18	10599	0.24	A	2
ZONE C	19	7372	0.17	A	2
ZONE C	20	2498	0.06	A	2
ZONE C	21	25934	0.60	A	2
ZONE C	22	12973	0.30	A	2
ZONE D	23	440	0.01	B	3
ZONE D	24	7413	0.17	B	3
ZONE D	25	3723	0.09	B	3
ZONE D	26	1592	0.04	B	3
ZONE D	27	3566	0.08	B	3
ZONE D	28	1650	0.04	B	3
ZONE D	29	1877	0.04	B	3
ZONE D	30	3807	0.09	B	3
ZONE D	31	9561	0.22	B	3
ZONE D	32	4811	0.11	B	3
ZONE D	33	3944	0.09	B	3
ZONE D	34	906	0.02	B	3
ZONE D	35	7193	0.17	B	3
ZONE E	36	1434	0.03	B	4
ZONE E	37	4648	0.11	B	4
ZONE E	38	2088	0.05	B	4
ZONE E	39	1232	0.03	B	4
ZONE E	40	2198	0.05	B	4
ZONE E	41	2599	0.06	B	4
ZONE F	42	7283	0.17	B	5
ZONE F	43	5385	0.12	B	5
ZONE F	44	1470	0.03	B	5
ZONE F	45	3228	0.07	B	5
ZONE F	46	6523	0.15	B	5
ZONE G	47	29600	0.68	B	5
TOTALS	M	548058	12.58		

- * PROPOSED INTERPRETIVE SIGNAGE LOCATION**
- A PROPOSED DUMPSTER LOCATION / PLANT SCHEDULE**
- ZONE A - TURF GRASS ZONE** - THE MANAGED AND MAINTAINED LAWN IN SUPPORT OF RECREATIONAL ACTIVITIES SUCH AS PICNICKING.
- ZONE B - POLLINATOR MEADOW ZONE** - THE AREAS OF LESS USED LAWN AND FIELDS THAT ARE PROPOSED TO BE CONVERTED INTO POLLINATOR MEADOWS TO BE TYPICALLY MOWED ON A TWO-YEAR ROTATION CYCLE.
- ZONE C - TRANSITION MEADOW ZONE** - A LOW MAINTENANCE ZONE OF NATIVE GRASSES TRANSITIONING FROM THE PARKING AREA TO THE FORMAL TURF OR POLLINATOR MEADOW ZONES.
- ZONE D - LANDSCAPE ZONE** - THE EXISTING AND PROPOSED LANDSCAPE PLANTING BEDS CONSISTING VARIOUS FORBS SHRUBS AND TREES, TYPICALLY ASSOCIATED WITH HARDSCAPE AND BUILDING FEATURES.
- ZONE E - STORMWATER LANDSCAPE ZONE** - A LOW MAINTENANCE LANDSCAPE ZONE OF WATER FRIENDLY GRASSES AND FORBS THAT WILL ABSORB RUNOFF WHILE PROVIDING AN ATTRACTIVE PLANTING AREA WITH LITTLE ROUTINE MAINTENANCE REQUIRED.
- ZONE F - PRIMARY DUNE ZONE** - THE NARROW BACKSHORE TRANSITION FROM BEACH TO UPLAND LAWN. THIS ZONE HAS A FRAGILE BUT DEFINED TOPSOIL A-HORIZON THAT SUPPORTS SALT SPLASH TOLERANT HERBACEOUS AND SCRUB-SHRUB PLANT SPECIES. THE ZONE INCLUDES SAND FENCING AND OPENINGS BETWEEN THE LAWN AND BEACH.
- ZONE G - BEACH WETLAND DEPRESSION ZONE** - TWO SOUTH BEACH WETLAND DEPRESSIONS BACKED INTO THE BENCH OF THE UPLAND PRIMARY DUNE-TO-LAWN TRANSITION ZONE, CONSISTING OF PARTIALLY SATURATED AND INUNDATED SANDS AND CLAYS. THE ZONE IS CLASSIFIED AS A MIX OF IRREGULARLY FLOODED, BRACKISH ESTUARINE INTERTIDAL (E2) AND FRESHWATER EMERGENT WETLANDS (PEM).
- ENGINEERED MULCH GROUNDCOVER** - NATURAL WOOD MULCH GROUND COVER IN AREAS OF HIGH TRAFFIC AND SHADE.

* SEE DETAIL SHEET ESA-3 FOR SOIL AMENDMENT PLANS
** SEE DETAIL SHEET ESA-4 FOR MAINTENANCE PLANS

PLOTTED: Nov 15, 2023 - 2:25pm

DEPARTMENT OF NATURAL RESOURCES

NATIONAL PARK SERVICE

Chesapeake Conservancy
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Revisions			
Rev. #	By	Date	Description

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NATURAL RESOURCE MANAGEMENT
ECOLOGICAL RESTORATION

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410.897.9290

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RESTORATION PLANTINGS AND SIGNAGE PLAN

SANDY POINT STATE PARK SOUTH BEACH RESTORATION

TAX MAP 41, GRID 21, PARCEL 98
1180 E. COLLEGE PARKWAY
ANNAPOLIS, MARYLAND 21409

THIRD DISTRICT ANNE ARUNDEL COUNTY ZONED OS

Date: 05/23/2023
Job Number: 21-029 / 21-8065 / 23-02-3
Scale: 1"=40'
Drawn By: JLR
Approved By: JLR
Folder Reference: SANDY POINT STATE PARK SOUTH BEACH RESTORATION
Sheet No. **ESA-1**

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